

Doc. No. 12565/2016

P. 280/2016



తెలంగాణ తెలంగాణ TELANGANA

F 976080

Sl. No. 2181 Date 19/10/16 ₹ 100/-
Sold to A. Ranga Rao S/o Venkata Ratnam
for whom GSRK Estates Hx2

R. SURESH
Licensed Stamp Vendor
License No. 15-12-018/20
R.L. No. 15-12-019/2016
H.No. 29-1405/1/A, F1, Road N
Deendayal Nagar, Malkajgiri
R.R. Dist-500 058. Cell: 929161

SALE DEED

This Sale Deed ("Sale Deed") is made and executed on this 25th day of October 2016, at Nalgonda District, Telangana State:

BY AND BETWEEN:

NADELLA MURALI VARA PRASAD S/o N. SUBBA RAO, Aged 40 yrs, Occupation: Employee, R/o H. No. 8/18, Bahar-B, Sahara States, Mansurabad, L B Nagar, Saroornagar Mandal, R R District, Hyderabad - 500078 TELANGANA. (PRESENT ADDRESS AT 2-wind song way, Hopkinton, MA, U.S.A. Pin Code : 01748)

Represented By His G.P.A. Agent M/S. GSRK Estates having its office at Flat No's 301 & 302, Plot No: 10, Srinagar Colony, (Above Tirumala Furniture Show room), Saket Road, ECIL Post, Hyderabad - 62, Represented by its Managing Partner MR. AVULA RANGA RAO S/o VENKATA RATNAM, Age: 51 Yrs., R/o Plot No: 64, Phase II, Saket Colony, Kapra, ECIL Post, Hyderabad - 62, Telangana State. Cell: 9246242777 (Pan No: AAHFG3370N) Validated by District Registrar NALGONDA on his File No: 274/Val/2016, Dated: 25.10.2016.

Hereinafter called the "VENDOR" which term shall mean and include all his/her/theirs, executors, administrators, legal representatives, nominees and assignees etc., of the FIRST PART.

Contd., 2

A. Ranga Rao

IN FAVOUR OF

AVIGHNA SOLARFARMS LIMITED, (formerly known as Avighna Solarfarms Private Limited and Avighna Windfarms Private Limited) (CIN# U40102GJ2015PLC082733), a company duly incorporated under the provisions of the Companies Act, 2013 and Registered with the Registrar of Companies, Gujarat at Ahmedabad and having its registered office at "SUZLON", 5, Shrimali Society, Near Shrikrishna Complex, Navrangpura, Ahmedabad - 380009, (hereinafter referred to as the "Company"). Hereinafter referred to as "Purchaser" which expression shall unless repugnant to the context or meaning thereof be deemed to mean and include its successors and permitted assigns; Represented by **MR. DILIPKUMAR PATEL S/o LATE. AMBALAL SHAMALDAS PATEL**, Age: 52 years, Occupation: Service, Presently Residing at 3, Tulsi Apartment, 9, Vrundavan Colony, Rambaug Road, Near Sardar Patel Hospital, Maninagar (West), Ahmedabad - 380028, GUJRAT, Of the OTHER PART. (Pan No: AANCA4167A)

Hereinafter called the "VENDEE" which term shall mean and include all his/her/theirs, executors, administrators, legal representatives, nominees and assignees etc., of the OTHER PART.

WHEREAS the VENDOR herein are the sole and absolute owner and peaceful possessor of agriculture land (Dry) admeasuring In

Survey No	Extent Acre - Guntas.	In Hectors	Title deed No / Patta No:
410 @	07 - 08	02 - 88	1630080/780
414 @2	04 - 24	01 - 84	
415 @2	02 - 30	01 - 10	
TOTAL	14 - 22	05 - 82	

Situated at ISKILLA Village & Grampanchayath, RAMANNAPET Mandal, _____
Dist., Telangana State.

Whereas the VENDOR has purchased the said property by way of Registered Sale Deed No. 1807/2011 which was Registered at Sub Registrar Office, Ramannapet, Nalgonda District, Telangana State.

AND WHEREAS the VENDOR here-in-to meet his financial needs have offered to sell the above land and herein after for brevity's sake called the schedule property, and more clearly described in the schedule of property to above named VENDEE for a total sale consideration of Rs. 86,20,875/- (Rupees Eighty six lakhs twenty thousand eight hundred and seventy five only), and VENDEE herein have agreed to purchase the same for the said sale consideration.

A. RCY

Description of Fee/Duty	In the Form of						Total
	Stamp Papers	Challan u/S 41 of IS Act	E-Challan	Cash	Stamp Duty u/S 16 of IS act	DD/BC/ Pay Order	
Stamp Duty	100	0	344740	0	0	0	344840
Transfer Duty	NA	0	129315	0	0	0	129315
Reg. Fee	NA	0	43105	0	0	0	43105
User Charges	NA	0	100	0	0	0	100
Total	100	0	517260	0	0	0	517360

E-Challan Details Received from Bank :

Signature of Registering Officer
Nalgonda (O.B)

1938 Arumachi Arumachi

Registered Document No. 12565
20 11 8 Book-I and assigned the
Id. 12565 2011
for [illegible]
Registering Officer
28 October 2011
07 Keshav (SSE)
JAMES STREET
HULL, WILSONDA.



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..3..

That in pursuance of the said offer and acceptance and in consideration of sum of Rs. 86,20,875/- (Rupees Eighty six lakhs twenty thousand eight hundred and seventy five only), the VENDEE here in have paid the entire sale consideration amount to the VENDOR by way of bank transfer through GSRK Estates current account number 427010200006262, for which the VENDOR here in admit and acknowledge the receipt of the same to the VENDEE and also deliver the vacant peaceful possession of the schedule property to the VENDEE TO HAVE AND TO HOLD the same absolutely and forever.

NOW THIS DEED OF SALE WITNESSES AS FOLLOWS

1. THAT, the VENDOR having received the entire sale consideration amount their by sell transfer and assign all that schedule property to the VENDEE together with all rights, titles, liabilities easements, privileges and appurtenances of whatsoever.
2. THAT, the VENDOR have paid all the taxes up to date and if any arrears of taxes may found due till this date the VENDOR shall pay such arrears of taxes at here own expenses.
3. THAT, the VENDOR further covenant if the VENDEE may deprive of whole or any part of the schedule property hereby sold due to defect in VENDOR title or for any such other reason the VENDOR shall indemnify and keep indemnified the VENDEE from and against the entire consideration amount together with costs and damages thereof.
4. THAT, the VENDOR further agree to execute any deed or document or all sign papers affidavit or wherever necessary for mutation of VENDEE name in all revenue records without raising any objection.
5. THAT the VENDOR this day delivered the vacant peaceful possession of the schedule property to the VENDEE.
6. THAT the VENDOR further covenant and assure to the VENDEE that the said agriculture land (Dry) hereby conveyed by way of this Document are not affected by the Agricultural Land assigned lands Act No:9/1977 (i.e: A.P. Prohibition of Transfer of Assigned lands Act.,1977).
7. THAT the VENDEE herein shall hereafter enjoy the schedule property as an absolute lawful and rightful owner without any interruption or disturbance either from the VENDOR or from any other person or persons raising any claim from any corner, the VENDOR shall make good all such claims at here own expenses.
8. THAT the property here by sold is free from all sorts of encumbrances, litigators, charges family dispute, surety securities adverse claims, liens, demands, mortgages, prior sales, gifts, wills, court attachments etc., either of the Government, semi Government or private.
9. The VENDOR here by declares that there are no Mango Trees / Coconut Trees / Betel Leaf Gardens / Orange Groves or any such other gardens; that there are no mines or quarries of granites or such other valuable stones; that there are no machinery no fish ponds etc., in the lands now being transferred; that if any suppression of facts is noticed at a future date, we will be liable for prosecution as per law, besides payment of deficit duty.
10. THAT the VENDOR further assure to the VENDEE that the said land is free from protected tenants, if in the event of any dispute arising in future in this regard it will be the sole responsibility

శ్రీ శ్రీకం.2011 నంబర్ తరుం దస్తావేజు 12565
నామంబింటు దాఖలు పరచిన కాగితముల సంఖ్య 8
ఈ కాగితపు పరుస సంఖ్య 3
[Signature]
జిల్లా రిజిస్ట్రార్ - నల్గొండ



SCHEDULE OF PROPERTY

All That the agriculture land (Dry) In.

Survey No	Extent Acre - Guntas.	In Hectors	Title deed No / Patta No:
410	07 - 08	02 - 88	1630080/780
414 & 2	04 - 24	01 - 84	
415 & 2	02 - 30	01 - 10	
TOTAL	14 - 22	05 - 82	

Situated at **ISKILLA** Village & Grampanchayat, **RAMANNAPET** Mandal, **YADADRI** Dist.,
Telangana State. Registration District **NALGONDA**, Sub-District **RAMANNAPET**. And bounded as follows:-

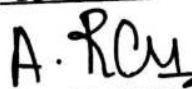
EAST : Agriculture land belongs to Avighna Solarfarms Ltd,
WEST : Agriculture land of Valamalla Narasimha, Balamma & Others,
NORTH : Agriculture land of Paila Venkata Narasimha Reddy,
SOUTH : Agriculture land of Banda Venkat Reddy & others,


STATEMENT OF MARKET VALUE UNDER RULE - 3

Name of the Village		ISKILLA		
Survey No	Extent Acre - Guntas	In Hectors	Rate Per Acre	Total Value
410	07 - 08	02 - 88	Rs. 5,92,500/-	
414 & 2	04 - 24	01 - 84		
415 & 2	02 - 30	01 - 10		
TOTAL	14 - 22	05 - 82		Rs. 86,20,875/-


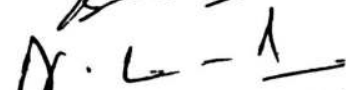
In witness where of, the **VENDOR** have set his hands and signed this Deed of Sale with this own free - will and Consent on the day, Month and year first above written.

Deficit Stamp Duty Rs. 3,44,740/-, Transfer Duty Rs. 1,29,315/-, Registration Fee Rs. 43,105/-, And User Charges Rs. 100/- Total Rs. 5,17,260/- paid at State Bank of Hyderabad, **NALGONDA** Branch E - Challan No: 990ILEU191016, On **25-10-2016**


Signature of the **VENDOR**:-


Signature of the **VENDEE**:-

Witnesses:-

1) 
2) 
(N. SUBBARAO)

