

File No. VIS-20 <u>23</u> -20 <u>24</u> PL-711-612-939	
Date of Receiving	
File Receiver Name	Subhas Sir

CASE COLLECTION FORM

(Version 5.0)

Date of implementation: 9.02.2011 | Last Revision: 30.01.2020 | Latest Revision: 31.10.2020

Items	Assigned To	Assigned to Date	To be completed by date	Submitted On date	Grade	HOD Engg. Signature
File Received By	Subhash	NA	NA			
Survey	Lachin		11/03/2024			
Preparation						

A - Very Good, B - Satisfactory, C - Average, D - Poor, E - Extremely Poor

File Returned to HOD Engg. unprepared due to reason	<input type="checkbox"/> Survey not done properly, <input type="checkbox"/> Survey Form not properly filled, <input type="checkbox"/> Market survey for rates is not properly done, <input type="checkbox"/> Identification is not clearly done, <input type="checkbox"/> Measurement is not properly done, <input type="checkbox"/> Photographs not clearly taken, <input type="checkbox"/> Selfie/ Owner or owner representative photo not taken, <input type="checkbox"/> Owner/ owner representative signature not taken, <input type="checkbox"/> Google Map not taken, <input type="checkbox"/> Survey summary sheet not filled
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In case File is returned by the preparer - HOD Engg. comment & Signature	<input type="checkbox"/> Minor defects in the survey hence approved for preparation with warning to Surveyor. Report preparer to collect the missing information on his own. <input type="checkbox"/> Major defects in the survey. Survey has to be done again.
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GENERAL DETAILS

1.	Proposal/ Work Order or Ref. No.	NA		
2.	Type of Service	<input checked="" type="checkbox"/> Valuation Report, <input type="checkbox"/> Construction cost estimate, <input type="checkbox"/> Cost vetting certificate <input type="checkbox"/> Other CE Certificates, <input type="checkbox"/> TEV Report, <input type="checkbox"/> LIE		
3.	Type of customer	<input checked="" type="checkbox"/> Bank <input type="checkbox"/> PSU <input type="checkbox"/> NBFC <input type="checkbox"/> Corporate <input type="checkbox"/> Company <input type="checkbox"/> Private client <input type="checkbox"/> Direct client through Bank		
4.	Bank/ FI/ Organization Name & Address	State Bank of India Overseas Branch Delhi		
5.	Case Allotment Officer/ Fees paying party Details	Name	Contact Number	Email Id
		Deep Chandel	8527010394	soam73.04803@shil.co.in
6.	Case Type	<input type="checkbox"/> Case for Fresh Account <input checked="" type="checkbox"/> Case for exiting account/ customer		
7.	Fees Details	Amount of Fees	Advance Amount if any	Fees will be paid by
				<input checked="" type="checkbox"/> Bank <input type="checkbox"/> Customer
8.	Billing Details	Billed To Party Name		GSTIN

CASE DETAILS

1.	Type of Property	Industrial land & Building									
2.	Purpose of Valuation/ Assignment	<input type="checkbox"/> Value assessment of the asset for creating new collateral mortgage <input checked="" type="checkbox"/> Periodic Re-Valuation for Bank, <input type="checkbox"/> Distress sale for NPA A/c., <input type="checkbox"/> For DRT Recovery purpose, <input type="checkbox"/> Capital Gains Wealth Tax purpose <input type="checkbox"/> Partition purpose, <input type="checkbox"/> General Value Assessment <input type="checkbox"/> Any other:									
3.	Owner/ Applicant Details	<table border="1"> <thead> <tr> <th>Name</th> <th>Contact Number</th> <th>Email Id</th> </tr> </thead> <tbody> <tr> <td>m/s Secure meter Ltd.</td> <td></td> <td></td> </tr> </tbody> </table>				Name	Contact Number	Email Id	m/s Secure meter Ltd.		
Name	Contact Number	Email Id									
m/s Secure meter Ltd.											
4.	Account Name	m/s Secure meter Ltd.									
5.	Property Address	Plot - E NO.-566 CIDC Industrial Area Sakand-II Gujrat.									
6.	Who will coordinate on site for the site survey	<table border="1"> <thead> <tr> <th>Name</th> <th>Contact Number</th> </tr> </thead> <tbody> <tr> <td>Mr Sushil</td> <td>9909978784</td> </tr> </tbody> </table>				Name	Contact Number	Mr Sushil	9909978784		
Name	Contact Number										
Mr Sushil	9909978784										
7.	Preferred time of survey	<table border="1"> <thead> <tr> <th>Date</th> <th>Time</th> </tr> </thead> <tbody> <tr> <td>11/03/2024</td> <td>10:30 Am.</td> </tr> </tbody> </table>				Date	Time	11/03/2024	10:30 Am.		
Date	Time										
11/03/2024	10:30 Am.										
8.	Documents Received (Any one ownership document and approved site plan/ map is must)	1. Ownership Documents: <input type="checkbox"/> Sale Deed, <input type="checkbox"/> Power of Attorney, <input type="checkbox"/> Registered Will, <input type="checkbox"/> Relinquishment Deed, <input type="checkbox"/> Transfer Deed, <input type="checkbox"/> Conveyance Deed, <input type="checkbox"/> Allotment Letter, <input type="checkbox"/> Possession Letter 2. Map: <input type="checkbox"/> Cizra Map, <input type="checkbox"/> Approved Map, <input type="checkbox"/> Site Plan 3. Utility Bills: <input type="checkbox"/> Electricity Bill & payment receipt, <input type="checkbox"/> Water Bill & payment receipt, <input type="checkbox"/> House Tax demand & payment receipt 4. Any Other document: <input type="checkbox"/> CLU, <input type="checkbox"/> TIR Report, <input type="checkbox"/> Agreement to Sale, <input checked="" type="checkbox"/> Old Valuation Report 5. No documents provided: <input type="checkbox"/>									
9.	Documents received from										
10.	Special Instructions if any:										
11.	<p>I agree to pay the amount mentioned above for the preparation of Valuation Report. I agree that I'll not put pressure on Valuer firm to distort any facts and would not try to influence any member or official of the firm in the ill spirit or vested interest and to benefit any individual or organization by any means illegitimately.</p> <p>Customer Signature:</p>										

FILE RECEIVER CASE COLLECTION PROCESS COMPLIANCE CHECKLIST*(To be filled by Surveyor)*

S.NO.	COMPLIANCE CHECKLIST	STATUS	APPROVER SIGNATURE/ REMARKS IN CASE OF ANY (X)
1.	Is Case collection Form properly filled by Receiver?	<input checked="" type="checkbox"/>	
2.	Is purpose of the assignment understood clearly by the receiver?	<input checked="" type="checkbox"/>	
3.	Has receiver checked if this is a new case or existing case of the Bank?	<input checked="" type="checkbox"/>	
4.	Has receiver fixed the fees with the manager/ client and sent quotation properly or have taken approval of the work over email?	<input checked="" type="checkbox"/>	
5.	Has receiver taken proper Work Order/ Email/ CESA form formality?	<input checked="" type="checkbox"/>	
6.	In case of private case or for fresh case 50% advance is received?	<input checked="" type="checkbox"/>	
7.	Is document checklist email sent to the customer?	<input checked="" type="checkbox"/>	
8.	Has the received documents is having 'documents provided by stamp'?	<input checked="" type="checkbox"/>	

IMPORTANT INSTRUCTIONS TO SURVEYOR

1.	Please fill the above compliance checklist before moving for the survey.
2.	Please do not do the survey if you do not have proper documents.
3.	For Vacant Plot/ Land – Cizra Map/ Master/ Zonal/ Site Plan is must to identify the Plot. For Agriculture or converted land from agriculture – Mutation documents, CLU is must.
4.	Firstly please first study the documents of the property which needs to get surveyed.
5.	Mark the Owner/ Area/ Boundaries mentioned in the ownership documents with bold florescent marker pen before moving for the survey. During site survey if any difference is found in the above fields from the ownership documents then please contact the owner immediately to know the reason for the difference.
6.	Confirm ongoing property rates in the subject location through public domain, property sites and contact dealers to show you the available properties in that area during your survey.
7.	Identify the Property clearly by matching the boundaries and area mentioned in the property papers.
8.	Do sample physical or google measurements of the property.
9.	PHOTOGRAPH INSTRUCTIONS: a. Take owner/ representative photograph along with the property. b. Take your selfie along with the property and the owner/ representative. c. Take full scale photo of the property with gate. d. Take photo of the property along with abutting road, towards left, right and center. e. Take multiple photos of inside-out of the property. f. Take nearby photographs of the Property. g. Take a short video to cover property and neighborhood.
10.	Take Google Map location.
11.	Check main road name & width and approach road width and distance of property from main road.
12.	Check Jurisdiction Municipal Limits & Ward Name.
13.	Fill each column of survey form diligently in detail and tick the appropriate option clearly.
14.	Check any defects or negativity in the property and comment in detail on survey form.
15.	Do extensive market rate enquiries and confirm for any recent past transactions.
16.	In case customer appears to be providing misleading information to you or trying to influence you by money or cash then immediately report to the Management & Bank.

SURVEY GRADING MATRIX	
GRADE	PARAMETERS/ CRITERIA
A	<p>In case all the points below are done properly, timely with full care and diligence:</p> <ol style="list-style-type: none"> 1. Survey started with proper work order and knowing the source of payment. 2. Survey done with proper documents. 3. Done complete homework and studied the documents properly with highlighting the main points before moving for the survey. 4. Chosen correct survey form as per the property type. 5. All fields of Survey form are properly filled. 6. All site special observations and negative and positive factors are clearly mentioned. 7. Self & client signatures taken on survey form. 8. Property rates information properly taken, mentioned and verified. 9. Site rough sketch plan made. 10. Proper photographs taken. 11. Selfie with property taken. 12. Selfie and owner photograph with property taken.
B	In case of 3 minor mistakes in any of the above points except Point 1, 2, 3, 4, 6, 8, 10, 11, 12 but all the points are covered.
C	In case of more than 3 minor mistakes and any 1 major mistake in any of the above points and if any points are completely missing except Point 1, 2, 3, 4, 6, 8, 10, 11, 12.
D	In case of 1 major mistake or missing of any 1 point out of 1, 2, 3, 4, 6, 8, 10, 11, 12.
E	In case of more than 1 major mistakes or missing of more than 1 point out of 1, 2, 3, 4, 6, 8, 10, 11, 12.

Note (Survey Grading Matrix):

1. For special assignments like LIE, Stock Valuation, etc. where till date survey format is not specified or released, in such cases point wise site observation report has to be submitted by the Surveyor duly signing it properly. Without signed Site Observation report, Point 4 will be considered as not done and will fall under Category E.
2. Similar Grading Matrix is issued for Case Collection & Report Preparation as well.

Note (Overall Grading Matrix):

1. In case client reports any careless mistake in the report for which revision has to be done in the report then in that case Grading Matrix may be revised and Grade E will be awarded.

SURVEY PROCESS COMPLIANCE CHECKLIST

(To be submitted by Surveyor with each Survey)

S.NO.	COMPLIANCE CHECKLIST POINTS	STATUS
1.	Did you take proper property documents to carry out the survey? <i>Soft</i>	<input type="checkbox"/>
2.	Have you properly studied & highlighted Owner/ Area/ Boundaries in the property documents with bold florescent before moving for the survey? <i>”</i>	<input type="checkbox"/>
3.	Did you check prominent landmark nearby the subject property and mentioned in the survey form?	<input checked="" type="checkbox"/>
4.	Did you identified the Property clearly by matching the boundaries and area mentioned in the property papers?	<input checked="" type="checkbox"/>
5.	Did you check if property is merged with any other property or it is an independent property?	<input checked="" type="checkbox"/>
6.	Did you do sample physical or google measurements of the property in case of property more than 2500 sq.mtr?	<input checked="" type="checkbox"/>
7.	Did you check for any building violations in the property?	<input checked="" type="checkbox"/>
8.	Did you check municipal limits/ jurisdiction/ ward?	<input checked="" type="checkbox"/>
9.	Did you take Google Map location and shared it to Maps whatsapp group?	<input checked="" type="checkbox"/>
10.	Did you check Main road name & width and its distance from the subject property?	<input checked="" type="checkbox"/>
11.	Did you check approach Lane width on which property is located?	<input checked="" type="checkbox"/>
12.	Have you taken property full scale photograph with gate?	<input checked="" type="checkbox"/>
13.	Have you taken owner/ representative photograph with the property?	<input checked="" type="checkbox"/>
14.	Have you taken your selfie with the property along with owner/ representative?	<input checked="" type="checkbox"/>
15.	Have you taken photograph of the property along with abutting road and towards left and right of the property?	<input checked="" type="checkbox"/>
16.	Have you taken multiple photographs of the property from inside-out? <i>inside photos attached</i>	<input checked="" type="checkbox"/>
17.	Did you check nearby development and whereabouts and commented on survey form?	<input checked="" type="checkbox"/>
18.	Did you check any defects or negativity in the property in terms of location, legality, disputes, marketability, salability, etc. and commented on survey form in detail?	<input checked="" type="checkbox"/>
19.	Have you filled all the columns of survey form including survey summary sheet properly?	<input checked="" type="checkbox"/>
20.	Did you draw site key plan (location map)?	<input checked="" type="checkbox"/>
21.	Did you draw rough site sketch plan?	<input checked="" type="checkbox"/>
22.	Have you taken self-attested documents from owner/ representative and stamped "documents provided by stamp"?	<input checked="" type="checkbox"/>
23.	Did you check any defects or negativity in the property in terms of location, legality, disputes, marketability, salability, etc. and commented on survey form in detail?	<input checked="" type="checkbox"/>
24.	Have you confirmed any recent past transactions during market enquiries and enquired property rates locally very rigorously?	<input checked="" type="checkbox"/>
25.	Did you take signatures of the owner/ representative on undertaking and survey summary sheet?	<input checked="" type="checkbox"/>
26.	Did you signed the undertaking?	<input checked="" type="checkbox"/>

For File No.	PL 711-612-939
Surveyor Name	
Signature	<i>Sachin</i>
Date	11/03/2024

GENERAL SURVEY FORM
(FOR PROPERTIES OTHER THAN FLATS)

(Version 5.0)

Date of implementation: 9.02.2011 | Last Revision: 04.01.2018 | Latest Revision: 31.10.2020

PL 711-612-939

File No. RKA/DNCR/...../.....

Date: *11/03/2024*

Time: *10:30 Am*

GENERAL DETAILS

1.	Name of the Surveyor	<i>Sachin Pandey</i>	
2.	Property shown by	<input type="checkbox"/> Owner, <input checked="" type="checkbox"/> Representative, <input type="checkbox"/> No one was available, <input type="checkbox"/> Property is locked, survey could not be done from inside	
		Name	Contact No.
		<i>Mr. Sushil</i>	<i>9909978784</i>
3.	Survey Type	<input type="checkbox"/> Full survey (inside-out with measurements & photographs) <input type="checkbox"/> Half Survey (Measurements from outside & photographs) <input type="checkbox"/> Only photographs taken (No measurements)	
4.	Reason for Half survey or only photographs taken	<input type="checkbox"/> Property was locked, <input type="checkbox"/> Possessee didn't allow to inspect the property, <input type="checkbox"/> NPA property so couldn't be surveyed completely	
5.	How Property is Identified	<input checked="" type="checkbox"/> From schedule of the properties mentioned in the deed, <input checked="" type="checkbox"/> From name plate displayed on the property, <input checked="" type="checkbox"/> Identified by the owner/ owner representative, <input checked="" type="checkbox"/> Enquired from nearby people, <input type="checkbox"/> Identification of the property could not be done, <input type="checkbox"/> Survey was not done	
6.	Type of Property	<input type="checkbox"/> Flat in Multistoried Apartment, <input type="checkbox"/> Residential House, <input type="checkbox"/> Low Rise Apartment, <input type="checkbox"/> Residential Builder Floor, <input type="checkbox"/> Commercial Land & Building, <input type="checkbox"/> Commercial Office, <input type="checkbox"/> Commercial Shop, <input type="checkbox"/> Commercial Floor, <input type="checkbox"/> Shopping Mall, <input type="checkbox"/> Hotel, <input checked="" type="checkbox"/> Industrial, <input type="checkbox"/> Institutional, <input type="checkbox"/> School Building, <input type="checkbox"/> Vacant Residential Plot, <input type="checkbox"/> Vacant Industrial Plot, <input type="checkbox"/> Agricultural Land	
7.	Property Measurement	<input type="checkbox"/> Self-measured, <input checked="" type="checkbox"/> Sample measurement only, <input type="checkbox"/> No measurement	
8.	Reason for no measurement	<input type="checkbox"/> It's a flat in multi storey building so measurement not required <input type="checkbox"/> Property was locked, <input type="checkbox"/> Owner/ possessee didn't allow it, <input type="checkbox"/> NPA property so didn't enter the property, <input type="checkbox"/> Very Large Property, practically not possible to measure the entire area <input type="checkbox"/> Any other Reason: <i>-NA-</i>	
9.	Purpose of Valuation	<input type="checkbox"/> Value assessment of the asset for creating new collateral mortgage <input checked="" type="checkbox"/> Periodic Re-Valuation for Bank, <input type="checkbox"/> Distress sale for NPA A/c., <input type="checkbox"/> For DRT Recovery purpose, <input type="checkbox"/> Capital Gains Wealth Tax purpose <input type="checkbox"/> Partition purpose, <input type="checkbox"/> General Value Assessment	
10.	Type of Loan	<input type="checkbox"/> Housing Loan, <input type="checkbox"/> Housing Take Over Loan, <input type="checkbox"/> Home Improvement Loan, <input type="checkbox"/> Loan against Property, <input type="checkbox"/> Construction Loan, <input type="checkbox"/> Educational Loan, <input type="checkbox"/> Car Loan, <input type="checkbox"/> Project Loan, <input type="checkbox"/> Term Loan, <input type="checkbox"/> CC Limit enhancement, <input type="checkbox"/> Cash Credit Limit, <input type="checkbox"/> Industrial Loan, <input checked="" type="checkbox"/> <i>NA</i>	
11.	Loan Amount	<i>—</i>	

OWNERSHIP DETAILS	
1.	Legal Owner Name/s <i>M/S Secure netw Ltd.</i>
2.	Property Purchaser Name <i>Secur</i>
3.	Property Address under Valuation <i>Plot No - E - 566</i>
4.	Present Residence Address of the Owner/ Purchaser
5.	Property constitution <input type="checkbox"/> Free Hold, <input checked="" type="checkbox"/> Lease Hold <i>99 year</i>

LOCATION DETAILS							
1.	Adjoining Properties (Match it with papers with the help of compass or Sun direction and also confirm it with nearby people)	East <i>Road - 20mtr</i>	West <i>Road - 40mtr</i>	North <i>Plot No. E 567/1</i>			
				South <i>Plot No. E - 565 vacant land.</i>			
2.	Property Facing	<input type="checkbox"/> East Facing, <input type="checkbox"/> North Facing, <input checked="" type="checkbox"/> West Facing, <input type="checkbox"/> South Facing, <input type="checkbox"/> North-East Facing, <input type="checkbox"/> South-West Facing, <input type="checkbox"/> South-East Facing, <input type="checkbox"/> North-West Facing					
3.	Landmark	<i>— Near Coca Cola</i>					
4.	Ward Name/ No.	<i>—</i>					
5.	Zone Name	<i>—</i>					
6.	Main Road Name & Width	Name	Width	Distance from property			
		<i>Ahemdabad to Samand - 5km</i>					
7.	Approach Road Name & Width	<i>Samand GIDC</i>					
8.	Location consideration of the Society	<input type="checkbox"/> Within Main city, <input type="checkbox"/> Within Good Urban developed Area, <input checked="" type="checkbox"/> Within developing area, <input type="checkbox"/> Highly posh locality, <input type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Ordinary, <input type="checkbox"/> In interiors, <input type="checkbox"/> Remote area, <input type="checkbox"/> Backward, <input type="checkbox"/> Average, <input type="checkbox"/> Poor					
9.	Special Location consideration of the property	<input type="checkbox"/> Park Facing, <input type="checkbox"/> Pool Facing, <input checked="" type="checkbox"/> Road Facing, <input type="checkbox"/> Entrance North-East Facing, <input type="checkbox"/> Sunlight facing					
10.	Characteristics of the locality	<input type="checkbox"/> Urban developed, <input type="checkbox"/> Urban developing, <input checked="" type="checkbox"/> Semi Urban, <input type="checkbox"/> Rural, <input type="checkbox"/> Backward, <input type="checkbox"/> Industrial, <input type="checkbox"/> Institutional					
11.	Category of Society/ locality	<input type="checkbox"/> High End, <input checked="" type="checkbox"/> Normal, <input type="checkbox"/> Affordable Group Housing, <input type="checkbox"/> EWS, <input type="checkbox"/> HIG, <input type="checkbox"/> MIG, <input type="checkbox"/> LIG					
12.	Utilities/ Facilities in the locality <i>— NA</i>	<input type="checkbox"/> Lifts, <input type="checkbox"/> Garden, <input type="checkbox"/> Landscaping, <input type="checkbox"/> Swimming Pool, <input type="checkbox"/> Gym, <input checked="" type="checkbox"/> Club House, <input type="checkbox"/> Walk Trails, <input type="checkbox"/> Kids play zone, <input type="checkbox"/> 100% Power Backup					
13.	Proximity to civic amenities	School	Hospital	Market	Metro	Railway Station	Airport
		<i>5km</i>	<i>5km</i>	<i>5km</i>	<i>—</i>	<i>7km</i>	<i>—</i>
14.	Any new development in surrounding area	<i>— No —</i>					

15.	Jurisdiction limits	<input type="checkbox"/> Nagar Nigam, <input type="checkbox"/> Nagar Panchayat, <input type="checkbox"/> Gram Panchayat, <input type="checkbox"/> Nagar Palika Parishad, <input type="checkbox"/> Area not within any municipal limits GIDC
16.	Jurisdiction Development Authority Name	<input type="checkbox"/> DDA, <input type="checkbox"/> GDA, <input type="checkbox"/> NOIDA, <input type="checkbox"/> GNIDA, <input type="checkbox"/> YEIDA, <input type="checkbox"/> HUDA, <input type="checkbox"/> KMDA, <input type="checkbox"/> MDDA, <input type="checkbox"/> Any other Development Authority: <input type="checkbox"/> Area not within any development authority limits GIDC
17.	Municipal Corporation Name	<input type="checkbox"/> NDMC, <input type="checkbox"/> SDMC, <input type="checkbox"/> EDMC, <input type="checkbox"/> Ghaziabad Municipal Corporation, <input type="checkbox"/> Gurgaon Municipal Corporation, <input type="checkbox"/> Faridabad Municipal Corporation, <input type="checkbox"/> Kolkata Municipal Corporation, <input type="checkbox"/> Dehradun Municipal Corporation, <input type="checkbox"/> Area not within any municipal limits, <input type="checkbox"/> Any other Municipal Corporation/ Municipality: GIDC

PHYSICAL DETAILS			
1.	Land Area	As per Title deed	As per Map
		81143 sq mtr 180 x 52 yds	235X 330
2.	Any conversion to the land use	NO -	
3.	Land Type	<input checked="" type="checkbox"/> Solid, <input type="checkbox"/> Rocky, <input type="checkbox"/> Marsh Land, <input type="checkbox"/> Reclaimed Land, <input type="checkbox"/> Water logged, <input type="checkbox"/> Land locked	
4.	Shape of the Land	<input type="checkbox"/> Square, <input checked="" type="checkbox"/> Rectangular, <input type="checkbox"/> Trapezium, <input type="checkbox"/> Triangular, <input type="checkbox"/> Trapezoid, <input type="checkbox"/> Irregular, <input type="checkbox"/> NA	
5.	Level of Land	<input checked="" type="checkbox"/> On road level, <input type="checkbox"/> Below road level, <input type="checkbox"/> Above road level, <input type="checkbox"/> NA	
6.	Frontage to depth ratio	<input checked="" type="checkbox"/> Normal frontage, <input type="checkbox"/> Less frontage, <input type="checkbox"/> Large frontage, <input type="checkbox"/> NA	
7.	Are Boundaries matched	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> No relevant papers available to match the boundaries, <input type="checkbox"/> Boundaries not mentioned in available documents	
8.	Is Independent access available to the property	<input checked="" type="checkbox"/> Clear independent access is available, <input type="checkbox"/> Access available in sharing of other adjoining property, <input type="checkbox"/> No clear access is available, <input type="checkbox"/> Access is closed due to dispute	
9.	Is property clearly demarcated with permanent boundaries?	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> Only with Temporary boundaries	
10.	Is the property merged or colluded with any other property	- NO -	
11.	Property possessed by at the time of survey	<input type="checkbox"/> Owner, <input type="checkbox"/> Vacant, <input type="checkbox"/> Lessee, <input type="checkbox"/> Under Construction, <input type="checkbox"/> Couldn't be Surveyed, <input type="checkbox"/> Property was locked, <input type="checkbox"/> Bank sealed, <input type="checkbox"/> Court sealed Secure interest	
12.	Current activity carried out in the property	<input type="checkbox"/> Residential purpose, <input type="checkbox"/> Commercial purpose, <input type="checkbox"/> Godown, <input type="checkbox"/> Office, <input checked="" type="checkbox"/> Industrial, <input type="checkbox"/> Vacant, <input type="checkbox"/> Locked, <input type="checkbox"/> Any other use:	

BUILDING/ CONSTRUCTION/ UTILITY DETAILS	
1.	Construction Status
	<input checked="" type="checkbox"/> Built-up property in use, <input type="checkbox"/> Under construction, <input type="checkbox"/> No construction

2.	Covered Built-up Area <i>(Tick one on the basis of which valuation is to be calculated)</i>	<input checked="" type="checkbox"/> Covered Area, <input type="checkbox"/> Floor Area, <input type="checkbox"/> Super Area, <input type="checkbox"/> Carpet Area <table border="1"> <tr> <th>As per Title deed</th> <th>As per Map</th> <th>As per site survey</th> </tr> <tr> <td colspan="3">338.63 sqm Refer to over</td> </tr> </table>			As per Title deed	As per Map	As per site survey	338.63 sqm Refer to over		
As per Title deed	As per Map	As per site survey								
338.63 sqm Refer to over										
3.	Total Number of Floors in the Building	G+1 Floor								
4.	Floor on which property is situated	ALL-								
5.	Type of Unit/ Number of Rooms/ Cabins/ Cubicles	production hall, office, Utility Building								
6.	Building Type	<input checked="" type="checkbox"/> RCC Framed Structure, <input type="checkbox"/> Load bearing Pillar Beam column, <input type="checkbox"/> Ordinary brick wall structure, <input type="checkbox"/> Iron trusses & Pillars, <input type="checkbox"/> Scrap abandoned structure								
7.	Roof	a. Make: <input type="checkbox"/> RBC, <input type="checkbox"/> RCC, <input checked="" type="checkbox"/> GI Shed, <input type="checkbox"/> Tin Shed, <input type="checkbox"/> Stone Patla b. Height: 45'-15', 12', 35' c. Finish: <input checked="" type="checkbox"/> Simple plaster, <input type="checkbox"/> POP Punning, <input type="checkbox"/> POP False Ceiling, <input type="checkbox"/> Coved roof, <input type="checkbox"/> No plaster								
8.	Flooring	<input checked="" type="checkbox"/> Vitrified tiles, <input type="checkbox"/> Ceramic Tiles, <input type="checkbox"/> Simple marble, <input type="checkbox"/> Marble chips, <input type="checkbox"/> Mosaic, <input type="checkbox"/> Granite, <input type="checkbox"/> Italian Marble, <input type="checkbox"/> Kota stone, <input type="checkbox"/> Wooden, <input checked="" type="checkbox"/> PCC, <input type="checkbox"/> Imported Marble, <input type="checkbox"/> Pavers, <input type="checkbox"/> Chequered Tiles, <input type="checkbox"/> Brick Tiles, <input type="checkbox"/> No Flooring, <input type="checkbox"/> Under construction, <input type="checkbox"/> Any other type:								
9.	Appearance/ Condition of the Building	Internal - <input type="checkbox"/> Excellent, <input type="checkbox"/> Very Good, <input checked="" type="checkbox"/> Good, <input type="checkbox"/> Ordinary, <input type="checkbox"/> Average, <input type="checkbox"/> Poor <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey External - <input type="checkbox"/> Excellent, <input type="checkbox"/> Very Good, <input checked="" type="checkbox"/> Good, <input type="checkbox"/> Ordinary, <input type="checkbox"/> Average, <input type="checkbox"/> Poor <input type="checkbox"/> Under construction								
10.	Maintenance of the Building	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Average, <input type="checkbox"/> Poor, <input type="checkbox"/> Under construction								
11.	Interior decoration	<input type="checkbox"/> Excellent, <input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Simple, <input type="checkbox"/> Ordinary, <input type="checkbox"/> Average, <input type="checkbox"/> Below average, <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey								
12.	Interior Finishing	<input checked="" type="checkbox"/> Simple plastered walls, <input type="checkbox"/> Brick walls without plaster, <input type="checkbox"/> Designer textured walls, <input type="checkbox"/> POP punning, <input type="checkbox"/> Coved roof, <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey								
13.	Exterior Finishing	<input checked="" type="checkbox"/> Simple plastered walls, <input type="checkbox"/> Brick walls without plaster, <input type="checkbox"/> Architecturally designed or elevated, <input type="checkbox"/> Brick tile Cladding, <input type="checkbox"/> Structural glazing, <input type="checkbox"/> Aluminum composite panel cladding, <input type="checkbox"/> Glass façade, <input type="checkbox"/> Domb, <input type="checkbox"/> Porch, <input type="checkbox"/> Under construction								
14.	Kitchen	<input checked="" type="checkbox"/> Simple with no cupboard, <input type="checkbox"/> Ordinary with cupboard, <input type="checkbox"/> Normal Modular with chimney, <input type="checkbox"/> High end Modular with chimney, <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey								
15.	Class of Electrical fittings	<input type="checkbox"/> External, <input checked="" type="checkbox"/> Internal <input checked="" type="checkbox"/> Ordinary fixtures & fittings, <input type="checkbox"/> Fancy lights, <input type="checkbox"/> Chandeliers, <input type="checkbox"/> Concealed lighting, <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey								
16.	Class of Sanitary/ Plumbing & water supply fittings	<input type="checkbox"/> External, <input checked="" type="checkbox"/> Internal <input type="checkbox"/> Excellent, <input type="checkbox"/> Very Good, <input checked="" type="checkbox"/> Good, <input type="checkbox"/> Simple, <input type="checkbox"/> Average, <input type="checkbox"/> Below average, <input type="checkbox"/> Under construction, <input type="checkbox"/> No Survey								
17.	Water arrangements	<input type="checkbox"/> Jet pump, <input type="checkbox"/> Submersible, <input checked="" type="checkbox"/> Jal board supply								
18.	Fixed Wooden Work	<input type="checkbox"/> Excellent, <input type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input checked="" type="checkbox"/> Simple, <input type="checkbox"/> Ordinary, <input type="checkbox"/> Average, <input type="checkbox"/> Below Average, <input type="checkbox"/> No wooden work, <input type="checkbox"/> No survey								
19.	Age of Building/ Recent Improvements done	2018 - Canteen - 2020								
20.	Maintenance of the Building	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Average, <input type="checkbox"/> Poor								

21.	Any defects in the building <i>- NO -</i>	<input type="checkbox"/> Maintenance issues, <input type="checkbox"/> Finishing issues, <input type="checkbox"/> Seepage issues, <input type="checkbox"/> Water supply issues, <input type="checkbox"/> Electricity issues, <input type="checkbox"/> Structural issues, <input type="checkbox"/> Visible cracks in the building											
22.	Any violation done in the property	<input type="checkbox"/> Construction done without Map, <input type="checkbox"/> Construction not as per approved Map, <input type="checkbox"/> Extra covered without sanctioned Map, <input type="checkbox"/> Joined adjacent property, <input type="checkbox"/> Encroached adjacent area illegally											
23.	Boundary Wall (Only for individual property)	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> Common boundary wall of a complex <table border="1"> <thead> <tr> <th>Running Mtr.</th> <th>Height</th> <th>Width</th> <th>Finish</th> </tr> </thead> <tbody> <tr> <td><i>—</i></td> <td><i>—</i></td> <td><i>—</i></td> <td><i>—</i></td> </tr> </tbody> </table>				Running Mtr.	Height	Width	Finish	<i>—</i>	<i>—</i>	<i>—</i>	<i>—</i>
Running Mtr.	Height	Width	Finish										
<i>—</i>	<i>—</i>	<i>—</i>	<i>—</i>										
24.	Lift/ elevators <i>X</i>	<input type="checkbox"/> Passenger/ <input type="checkbox"/> Commercial <table border="1"> <tr> <td>Make:</td> <td>Capacity:</td> </tr> </table>				Make:	Capacity:						
Make:	Capacity:												
25.	Power backup	<input type="checkbox"/> Inverter, <input checked="" type="checkbox"/> DG Set <table border="1"> <tr> <td>Make:</td> <td>Capacity:</td> </tr> </table>				Make:	Capacity:						
Make:	Capacity:												
26.	Garden/ Landscaping	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> Beautiful, <input type="checkbox"/> Ordinary											
27.	Parking facilities	<input checked="" type="checkbox"/> Available within the property <input checked="" type="checkbox"/> On Ground, <input type="checkbox"/> In Basement, <input type="checkbox"/> On still <input type="checkbox"/> Not available within the property <input type="checkbox"/> On road, <input type="checkbox"/> Acute parking problem											
28.	Special Comments/ Observations, if any												

MARKETABILITY/ SELABILITY/ UTILITY DETAILS					
1.	Any issues in marketability of the property? <input type="checkbox"/> Yes, <input checked="" type="checkbox"/> No Reason in case of No: <input checked="" type="checkbox"/> Location, <input type="checkbox"/> Surrounding, <input type="checkbox"/> Legal aspects, <input checked="" type="checkbox"/> Demand, <input type="checkbox"/> Shape, <input type="checkbox"/> Any Other:				
2.	How is Demand & Supply condition in the Market of such properties? <table border="1"> <tr> <td>Demand</td> <td><input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor</td> </tr> <tr> <td>Supply</td> <td><input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor</td> </tr> </table>	Demand	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor	Supply	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor
Demand	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor				
Supply	<input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor				
3.	Is property easily sellable & marketable? <input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No Comments:				
4.	How is the current utility of the property? <input type="checkbox"/> Excellent, <input checked="" type="checkbox"/> Very Good, <input type="checkbox"/> Good, <input type="checkbox"/> Average, <input type="checkbox"/> Low, <input type="checkbox"/> Poor				
5.	At what True rate Owner bought this Property? <table border="1"> <tr> <td>Year of purchase</td> <td><i>—</i></td> </tr> <tr> <td>Purchase Price</td> <td><i>—</i></td> </tr> </table>	Year of purchase	<i>—</i>	Purchase Price	<i>—</i>
Year of purchase	<i>—</i>				
Purchase Price	<i>—</i>				
6.	Present expected Sale Value of the overall property?				

STP G.F. & med G.F.

$$\begin{aligned} & \text{H-2d} \\ & 32 \times 25 \\ & = \underline{800 \text{ sq mtr}} \end{aligned}$$

Gurd Room 1

RCC G.F.

$$5.2 \times 7$$

H-12'

$$= \underline{36.4 \text{ sq mtr}}$$

Gurd Room-2

G.F.
RCC

=

$$5.5 \times 13.47$$

H-12'

$$= 74.08 \text{ sq mtr}$$

Visitation Area RCC —

G.F.

Refer to old valuation
Because measurement is
not possible. H-15'

Main plant Area -

$$\underline{\text{G.B Shed G.F}} \rightarrow 49.5 \times 138 \text{ M H-25'} \\ = 6831 \text{ Sqmtr}$$

As per google $\rightarrow 6526.92 \text{ Sqmtr.}$

Moulding plant $\rightarrow 35 \times 149$
 $= 5215 \text{ Sqmtr H-4'}$

G.F G.F Shed

As per Google — 5141.75 Sqmtr.

Utility Area G+I
RCC

$$(6 \times 142) \times 2 \text{ H-20'} \\ 852 \times 2 = 1704 \text{ Sqmtr}$$

Store wear house

G.F Shed G.F

$$106 \times 34$$

H-45'

$$= 3604 \text{ Sqmtr.}$$

Canteen \rightarrow

G+I

RCC

$$2385.86 \text{ Sqmtr}$$

$$\times 2$$

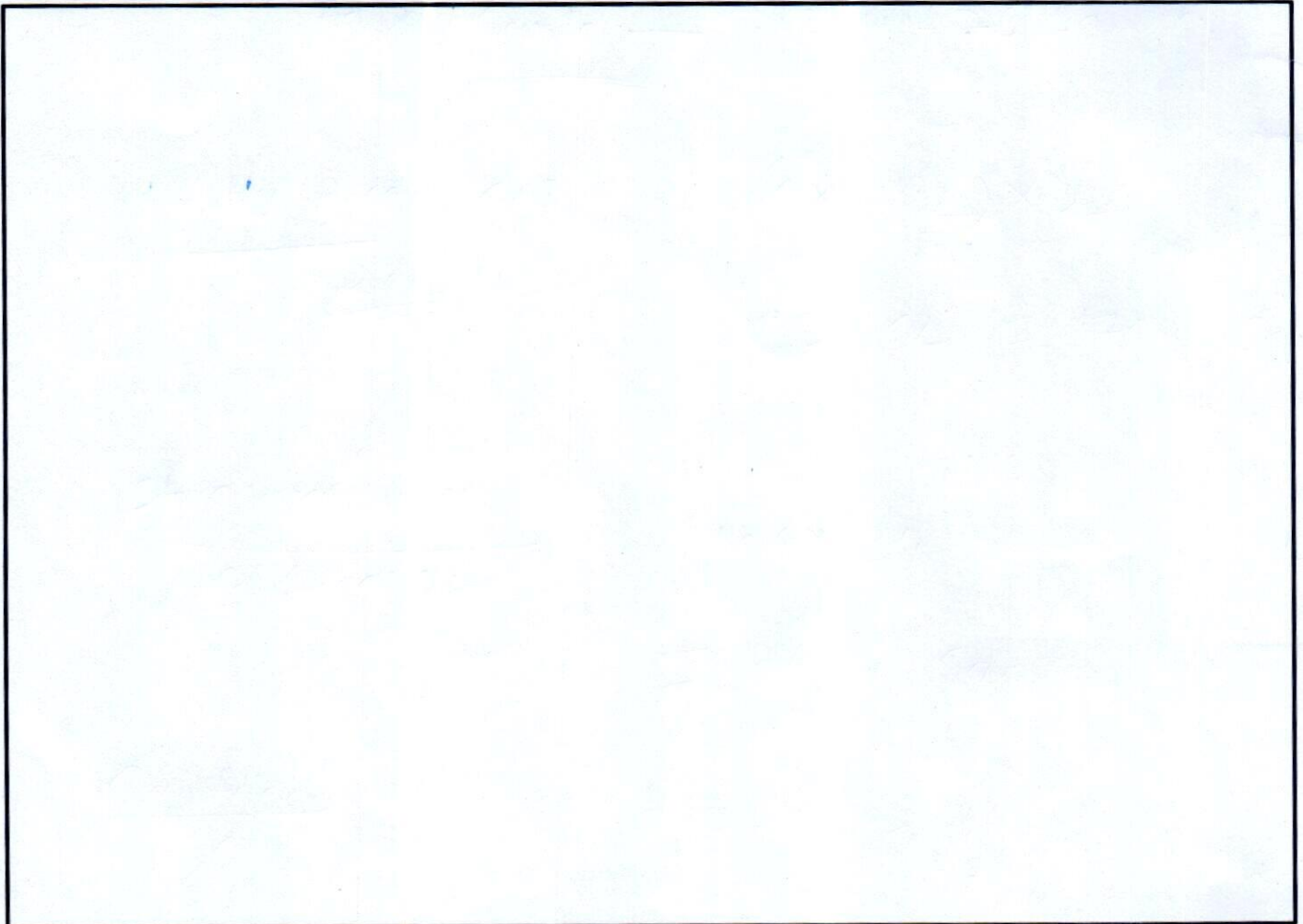
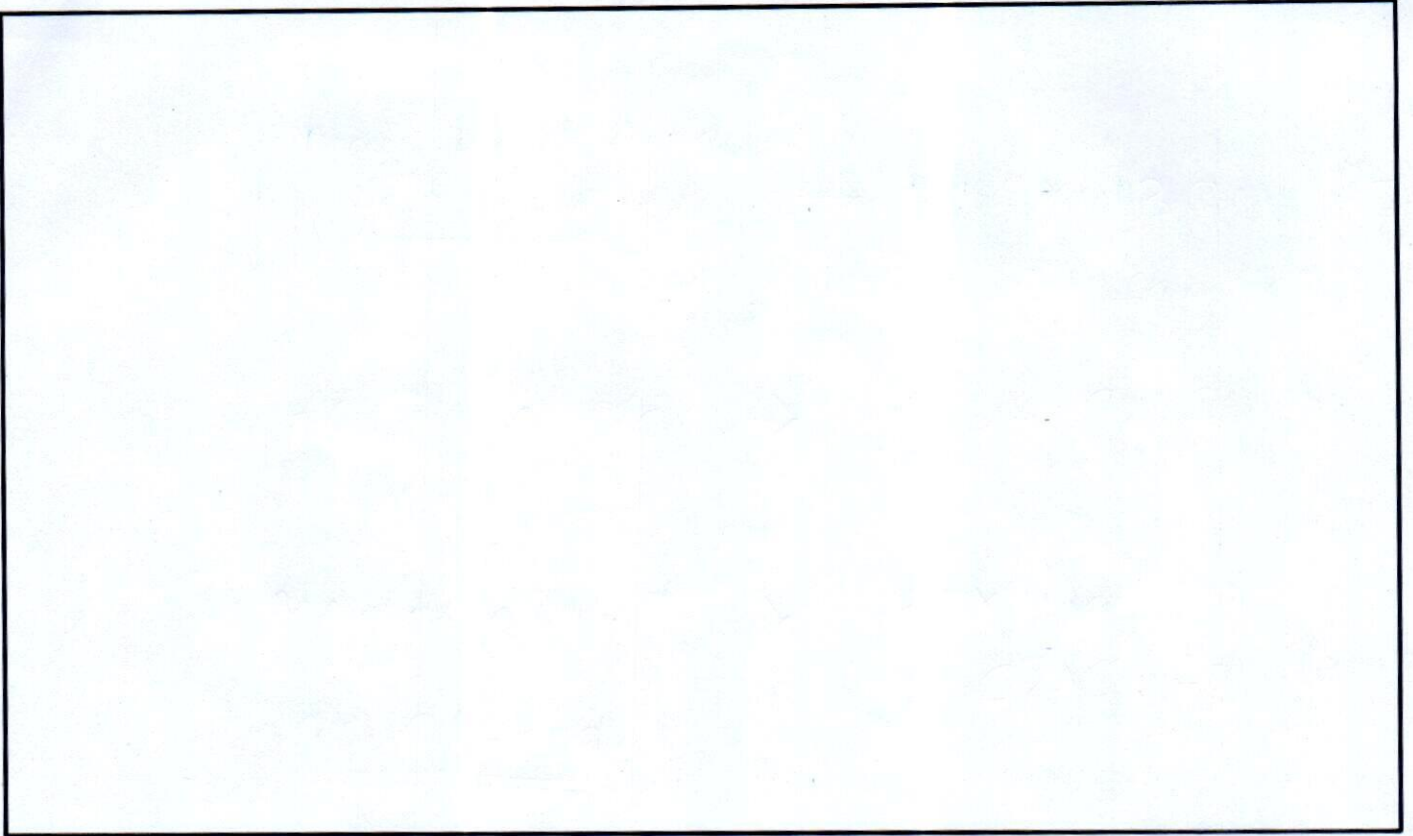
$$= 4771.2 \text{ Sqmtr}$$

Visitor Area Shed

$$1651.68 \text{ Sqmtr} -$$

H-25'

DRAW SITE KEY PLAN & SKETCH PLAN



PROPERTY MARKET COMPARABLE RATE INFORMATION DETAILS

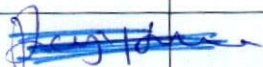
(Available for Sale or Transaction already happened in past)

S.No	Particulars	Subject Property	Comparable 1	Comparable 2	Comparable 3
1.	Name (source of information)	NA	Yashpal	Mitesh Blair	
2.	Contact No.	NA	9825090774	7226957171	
3.	Type of source of information (Seller/ Property dealer/ nearby people)	NA	property Dealer	property Dealer	
4.	Rates/ Price informed (in Rs. with unit)	NA	Rs - 5000 to 8000 p2sqyd	Rs - 5000 to 8000	
5.	Rates Type (Sale/ Buy)	NA	Buy		
6.	Shape of the Property (Square, Rectangular, Irregular)		Rect.		
7.	Area/ Size of the Property		30000 Sqmtr.		
8.	Legal Status (clear, negative, weak)/ No. of owners		clear -		
9.	Location/ surrounding/ neighborhood comparison with the subject property (Similar, Lower, Better, Highly Better than the subject Property)	Base Case	Surrounding		
10.	Distance from the subject Property	0	—		
11.	Other factors (Corner, 2 side open, North-East facing, Park facing, Legal/ Financial encumbrance, etc.)		on land.		
12.	Approach road width				
13.	Level of Land (Below/ On/ Above road level)				
14.	Frontage to depth ratio (Normal, Less, Large)		Normal.		
15.	Present Use		Agriculture		
16.	Any other details/ Discussion held	NA			
17.	Present expected Sale Value of the overall property?				

UNDERTAKING BY THE CUSTOMER



I confirm that I have made the inspection of the subject property to the surveyor of R.K Associates, which is correct property in question for which the documents have been provided/ submitted by me. I further confirm that I am aware of all the information related to the subject property and I have provided all its information to the surveyor true to the best of my knowledge. I understand that any false or manipulative information provided by me will be considered as cheating with the professional organization since it will lead to incorrect valuation report and I'd be solely responsible for this unlawful act and will bear the charges for the changes/modifications which have to undergo due to the false information. I also undertake that I have not given any cash or in kind to any member of R.K Associates to influence the Value of the Property or favor any individual or organization and the same is not accepted or asked by the member of R.K Associates. Any such act will lead to cancellation of the material prepared by R.K Associates with forfeiting of the fees and i'll be completely responsible for its repercussions and legal actions taken for it.

IMPORTANT: We have not authorized any of our person/ Surveyor to take Cash or kind from the customers in any situation. In case Surveyor or any member of R.K Associates asks for any money or kind from you then kindly please inform on number +91-9958632707, 0120-4110117. Our Valuation process is very stringent and have multiple check points to ensure correct & error free reports to keep the lending agency risk free. In case Surveyor claims that he would be able to arbitrary effect the Valuation figures unfairly or as per your requirement & need, then he is making a false claim to you and we request you to complaint such act immediately on the number provided above.

Name	
Relationship with owner	
Signature	 Refused for Sign
Mobile No.	
Date	

UNDERTAKING BY THE SURVEYOR

I confirm that I have carried out the Survey of the property properly as per the fair professional best practices and Valuation & Survey policy guidelines issued by R.K Associates. I have not taken any cash or kind from the customer nor have I come into any kind of influence of the customer / bank for arbitrary providing the Property Valuation as per one's need. I further state that I have not given any assurances to the customer nor given any wrong or false information or statement. In case at any point of time it is found that I have done any kind of fraudulent activity in this case and misled the company then I understand its legal consequences and appropriate penal action which company can take against me. Also in regard to it any monetary or reputation loss will be recovered from me by the company.

For File No.	PL711-612-939
Surveyor Name	
Signature	
Date	11/03/2024

UNDERTAKING BY THE PREPARER

I confirm that this Valuation Report is prepared as per the fair professional best practices and Valuation & Survey Policy Guidelines issued by the organization. I also confirm that without any personal interest, partiality or prejudice, I have worked on this Valuation assignment. Rates adopted for the asset is based on various facts, information collected from the site came to my knowledge during the course of the assignment and I have taken all sincere efforts to review, cross check & confirm this data/ information from all different angles using my prudent approach without any biasedness or pressure. I have prepared the report based on true facts & information as per best of my knowledge & case facts. I understand that any false information provided by me will lead to the incorrect valuation report and I'd be solely responsible for it and will bear the losses which will be put on the Company in form of monetary or reputation loss by its client or statutory bodies.

I also undertake that I did not come into any influence by the customer, Bank representative (officer or agent), colleagues, coworkers or any other person to arbitrary change the Valuation figures or facts unethically or illegitimately which may put the public money at risk which is in the form of Bank deposits.

In case at any point of time in future, if I am found guilty of illegitimately distorting the facts in the Valuation or any other professional services which company offers in the market on being influenced by the customer or Bank representative (officer or agent) or for whatsoever reason then I'd solely responsible of any such act and I understand that the Company can take appropriate legal action against me which may include suspension from the current roles & responsibilities or termination from the employment with immediate effect.

I also undertake that I have not taken any cash, favor or in kind from the customer for favoring any individual or organization by unfair means.

I also undertake that I'll not prepare any report on incomplete Survey form which is not properly filled as per the Company guidelines and in case I am preparing it which is creating an incorrect report then I'd be responsible for its consequences.

For File No.	
Preparer Name	
Signature	
Date	

SURVEY SUMMARY SHEET

(TO BE ENCLOSED WITH VALUATION REPORT)

(Version 1.0) | Date of implementation: 10.04.2017

Every Valuation report at R.K Associates is prepared based on the thorough survey of the property carried out by our Engineering Surveyor. This Survey Summary Sheet is for the information of Banker/ concerned interested organization. Detailed Survey Form can also be made available to the interested organization in case it is required to cross check what information our surveyor has given in site inspection report based on which Valuation report is prepared.

1.	File No.	PL 711-612-939						
2.	Name of the Surveyor	Sachin Pandey						
3.	Borrower Name	M/S Secure meter Ltd.						
4.	Name of the Owner	M/S Secure meter Ltd.						
5.	Property Address which has to be valued	Plot No. E-566 GIDC Sanand - II Gujarat.						
6.	Property shown & identified by at spot	<input type="checkbox"/> Owner, <input checked="" type="checkbox"/> Representative, <input type="checkbox"/> No one was available, <input type="checkbox"/> Property is locked, survey could not be done from inside <table border="1"> <tr> <th>Name</th> <th>Contact No.</th> </tr> <tr> <td>Mr. Sushil</td> <td>9909978784</td> </tr> </table>			Name	Contact No.	Mr. Sushil	9909978784
Name	Contact No.							
Mr. Sushil	9909978784							
7.	How Property is Identified by the Surveyor	<input checked="" type="checkbox"/> From schedule of the properties mentioned in the deed, <input type="checkbox"/> From name plate displayed on the property, <input checked="" type="checkbox"/> Identified by the owner/ owner representative, <input checked="" type="checkbox"/> Enquired from nearby people, <input type="checkbox"/> Identification of the property could not be done, <input type="checkbox"/> Survey was not done						
8.	Are Boundaries matched	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> No relevant papers available to match the boundaries, <input type="checkbox"/> Boundaries not mentioned in available documents						
9.	Survey Type	<input type="checkbox"/> Full survey (inside-out with measurements & photographs) <input type="checkbox"/> Half Survey (Measurements from outside & photographs) <input type="checkbox"/> Only photographs taken (No measurements)						
10.	Reason for Half survey or only photographs taken	<input type="checkbox"/> Property was locked, <input type="checkbox"/> Possessee didn't allow to inspect the property, <input type="checkbox"/> NPA property so couldn't be surveyed completely						
11.	Type of Property	<input type="checkbox"/> Flat in Multistoried Apartment, <input type="checkbox"/> Residential House, <input type="checkbox"/> Low Rise Apartment, <input type="checkbox"/> Residential Builder Floor, <input type="checkbox"/> Commercial Land & Building, <input type="checkbox"/> Commercial Office, <input checked="" type="checkbox"/> Commercial Shop, <input type="checkbox"/> Commercial Floor, <input type="checkbox"/> Shopping Mall, <input type="checkbox"/> Hotel, <input checked="" type="checkbox"/> Industrial, <input type="checkbox"/> Institutional, <input type="checkbox"/> School Building, <input type="checkbox"/> Vacant Residential Plot, <input type="checkbox"/> Vacant Industrial Plot, <input type="checkbox"/> Agricultural Land						
12.	Property Measurement	<input type="checkbox"/> Self-measured, <input type="checkbox"/> Sample measurement, <input type="checkbox"/> No measurement						
13.	Reason for no measurement	<input type="checkbox"/> It's a flat in multi storey building so measurement not required <input type="checkbox"/> Property was locked, <input type="checkbox"/> Owner/ possessee didn't allow it, <input type="checkbox"/> NPA property so didn't enter the property, <input type="checkbox"/> Very Large Property, practically not possible to measure the area within limited time <input type="checkbox"/> Any other Reason:						
14.	Land Area of the Property	As per Title deed	As per Map	As per site survey				
		81143 Sqm		235X330m				
15.	Covered Built-up Area	As per Title deed	As per Map	As per site survey				
		Refer to OVR						
16.	Property possessed by at the time of survey	<input checked="" type="checkbox"/> Owner, <input type="checkbox"/> Vacant, <input type="checkbox"/> Lessee, <input type="checkbox"/> Under Construction, <input type="checkbox"/> Couldn't be Surveyed, <input type="checkbox"/> Property was locked, <input type="checkbox"/> Bank sealed, <input type="checkbox"/> Court sealed						
17.	Any negative observation of the	Secure meter						

	property during survey	<i>No -</i>
18.	Is Independent access available to the property	<input checked="" type="checkbox"/> Clear independent access is available, <input type="checkbox"/> Access available in sharing of other adjoining property, <input type="checkbox"/> No clear access is available, <input type="checkbox"/> Access is closed due to dispute
19.	Is property clearly demarcated with permanent boundaries?	<input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No, <input type="checkbox"/> Only with Temporary boundaries
20.	Is the property merged or colluded with any other property	<i>- No -</i>
21.	Local Information References on property rates	Please refer attached sheet named 'Property rate Information Details.'

Endorsement:

1. Signature of the Person who was present from the owner side to identify the property:

Undertaking: I have shown the correct property and provided the correct information about the property to the surveyor of R.K Associates to the best of my knowledge for which Valuation has to be prepared. In case I have shown wrong property or misled the valuer company in any way then I'll be solely responsible for this unlawful act.

- Name of the Person:
- Relation:
- Signature:
- Date:

In case not signed then mention the reason for it: ☐ No one was available, ☐ Property is locked, ☒ Owner/ representative refused to sign it, ☐ Any other reason:

2. Surveyor Signature who did site inspection:

Undertaking: I have inspected the property and cross verified the property details at site to the extent of a. Matching boundaries of the property, b. Sample measurement of its area, c. Physical condition, d. Property rates as per local information with what is mentioned in the property documents provided to me by the Bank/ interested organization. I have not come under influence of anyone during site inspection and have only recorded the true and factual details in the survey form which I come across during the site survey. I understand that giving any manipulative information in the survey form will lead to incorrect Valuation report which is an unlawful act and I'll be solely responsible for doing it.

- Name of the Surveyor:
- Signature:
- Date:

Sachin
11/03/2024

VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SANAND

VALUATION ASSESSMENT AS PER SBI FORMAT

Name & Address of Branch:	State Bank of India, Overseas Branch, Delhi
Name of Customer (s)/ Borrower Unit	M/s. Secure Meters Limited

I.		GENERAL			
1.	Purpose for which the valuation is made		For Value assessment of the asset for creating collateral mortgage for Bank Loan purpose		
2.	a)	Date of inspection	16 January 2021		
	b)	Date on which the valuation is made	08 February 2021		
3.	List of documents produced for perusal		Documents Requested	Documents Provided	Documents Reference No.
			Total 04 documents requested.	Total 01 documents provided.	01
			Property Title document	Old Valuation Report	Ref No. 1920DTFAREP005/5 Dated 08/05/2019
			Last paid Electricity Bill	None	--
			Last paid Municipal Tax Receipt	None	--
			Approved Map	None	--
4.	Name of the owner/s		M/s. Secure Meters Limited		
	Address and Phone no. of the owner/s		401, 4th floor, Park Central, NH 8, Sector - 30, Gurugram, Haryana 122002		
5.	Brief description of the property		<p>This Valuation report has been prepared for the industrial property situated at the aforesaid address having total land area admeasuring 81,143 sq.mtr/ 97046.22 sq.yds as per the copy of old valuation report provided to us by the bank</p> <p>The property details like ownership, address, land area has been taken on the basis of old valuation Dated February 28th, 2019. Thus, the bank is advised to check the ownership, address & land area with help of expert. If any discrepancy found in the data/ details. The valuation of the subject property will significantly change.</p> <p>As per the site inspection, the ownership of the subject property is in the name of M/s. Secure Meters Limited. The company is a manufacturing unit which manufactures the grid meters & Transformer.</p>		



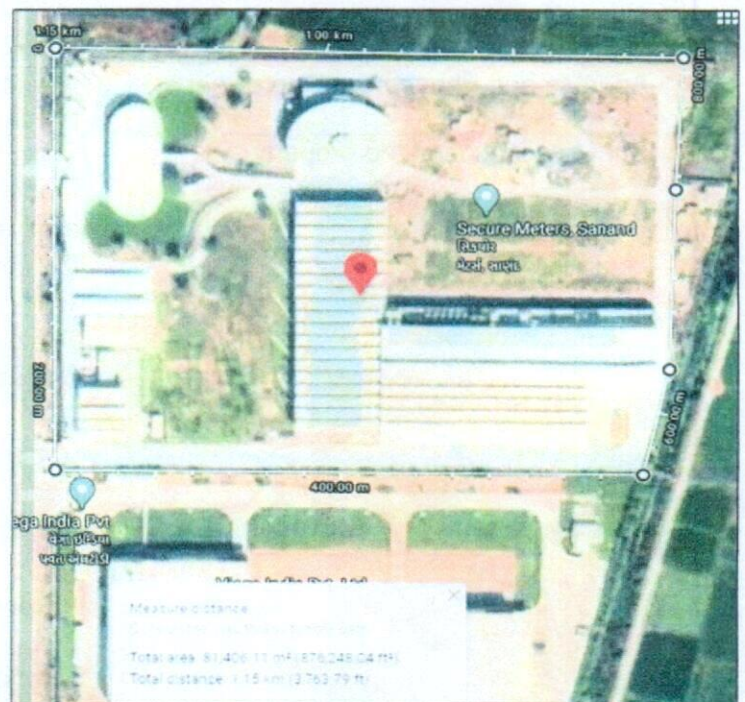

VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SANAND

The subject property consists of different structures constructed with RCC & GI Shed Technique
The structures are as follows:

CIVIL/STRUCTURES VALUATION FOR M/S. SECURE METERS LIMITED, SANAND							
S.No.	Block Name	Floor wise Height (ft.)	Year of construction	Type of construction (select from drop)	Structure condition	Area (in sq. mtr.)	Area (sq. fts.)
FACTORY BUILDINGS							
1	Plant 1 (Composite structure)	20 ft	2018	GI Shed	Good	6397.16	68860.31
2	Moulding Plant	20 ft	2018	GI Shed	Good	6038.64	65001.13
3	Store & Ware House	20 ft	2018	GI Shed	Good	3632.86	39104.83
4	Utility Area	12 ft	2018	RCC + Steel Structure	Good	1249.36	13448.36
5	Visitor Area	12 ft	2018	RCC + Steel Structure	Good	1701.47	18314.96
6	Security Cabin	12 ft	2018	RCC + Steel Structure	Good	20.00	215.28
7	STP Civil Work	NA	2018	RCC + Steel Structure	Good	75000	
8	200 KI Under Ground Water Tank	NA	2018	RCC (Under Ground Structure)	Good	120	1291.70
9	Miscellaneous work & Surface Development	NA	2018	RCC (Backfilling area, RCC Drain, & trench)	Good	47821.29	514757.93

The subject property is located in the developing phase of Gujarat Industrial Development Corporation (GIDC). The subject property is an intermediate plot and can be clearly approached from 50 ft. wide sector road.



This report only contains general assessment & opinion on the Guideline Value and the indicative, estimated Market

AJdy

		Value of the property found on as-is-where basis on site for which the Bank/ customer has shown & asked us to conduct the Valuation for which photographs is also attached with the report. No legal aspects in terms of ownership or any other legal aspect is taken into consideration. It doesn't contain any due-diligence other than the valuation assessment of the property shown to us on site. Information/ data/ documents given to us by Bank/ client has been relied upon in good faith. This report doesn't contain any other recommendations of any sort
6.	Location of property	
	a) Plot No. / Survey No.	Plot No. E – 566
	b) Door No.	--
	c) T. S. No. / Village	GIDC (Gujrat Industrial Development Corporation)
	d) Ward / Taluka	Sanand-II
	e) Mandal / District	District- Ahmedabad, Gujrat
	f) Date of issue and validity of layout of approved map / plan	Cannot comment since copy of approved map not provided to us
	g) Approved map / plan issuing authority	Approved Map not provided to us (All the area Details taken as per the old valuation report provided to us)
	h) Whether genuineness or authenticity of approved map / plan is verified	Approved Map not provided to us (All the area Details taken as per the old valuation report provided to us)
	i) Any other comments by our empanelled Valuers on authenticity of approved plan	Cannot comment since copy of approved map not provided to us (All the area Details taken as per the old valuation report provided to us)
7.	Postal address of the property	
8.	a) City / Town	District- Ahmedabad, Gujrat
	b) Residential Area	No
	c) Commercial Area	No
	d) Industrial Area	Yes
9.	Classification of the area	
	a) High / Middle / Poor	Industrial Area
	b) Urban / Semi Urban / Rural	Urban Developed
10.	Coming under Corporation limit/ Village Panchayat / Municipality	GIDC (Gujrat Industrial Development Corporation)
11.	Whether covered under any State / Central Govt. enactments (e.g. Urban and Ceiling Act) or notified under agency area / scheduled area / cantonment area	No, subject plot is under notified industrial area of GIDC
12.	In case it is an agricultural land, any conversion to house site plots is contemplated	No, subject plot is under notified industrial area of GIDC
13.	Boundaries of the property	
	Are Boundaries matched	No, boundaries are not mentioned in the documents.

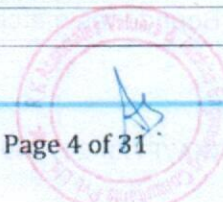
VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SANAND


rk ASSOCIATES
 REINFORCING YOUR BUSINESS

	Directions	As per Sale Deed/TIR	Actual found at Site
	North	NA	Plot No.E- 567/1
	South	NA	Plot No. E - 565
	East	NA	20 mtr. U.T Corridor
	West	NA	45 Mtr. wide road
14.1	Dimensions of the site	A	B
		As per the Deed	Actuals
	North	Not mentioned in the documents	330 mtr. (measureable from google maps)
	South	Not mentioned in the documents	330 mtr. (measureable from google maps)
	East	Not mentioned in the documents	234.24 mtr. (measured from google maps)
	West	Not mentioned in the documents	231.24 mtr. (measured from google maps)
14.2	Latitude, Longitude & Co-ordinates of Industrial Property		22°58'58.7"N 72°17'24.4"E
15.	Extent of the site		Land Area -81,143 sq.mtr/ 97046.22 sq.yds
16.	Extent of the site considered for valuation		Land Area -81,143 sq.mtr/ 97046.22 sq.yds
17.	Whether occupied by the owner / tenant?		Working industrial unit in possession of owner
	If occupied by tenant, since how long?		Not applicable
	Rent received per month.		Not applicable

II. CHARACTERISTICS OF THE SITE		
1.	Classification of locality	Industrial Area
2.	Development of surrounding areas	Well-developing industrial area
3.	Possibility of frequent flooding / submerging	No
4.	Feasibility to the Civic amenities like school, hospital, bus stop, market etc.	Yes, available within the close vicinity of 30-40 km From subject property.
5.	Number of Floors	Please refer to attached sheet
6.	Type of Structure	Please refer to attached sheet
7.	Type of use to which it can be put	Industrial purpose
8.	Any usage restriction	No, It's an notified industrial area and all properties are used for industrial purpose
9.	Is plot in town planning approved layout?	Yes
10.	Corner plot or intermittent plot?	Intermittent plot
11.	Road facilities	Yes
12.	Type of road available at present	Bitumen Surfaced Road
13.	Width of road – is it below 20 ft. or more than 20 ft.	More than 20 ft.
14.	Is it a land – locked land?	No
15.	Water potentiality	Water pipelines exist in the area
16.	Underground sewerage system	Exists in the area

VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SANAND



17.	Is power supply available at the site?	Exists in the area
18.	Advantage of the site	Normal location within the locality
19.	Special remarks, if any, like threat of acquisition of land for public service purposes, road widening or applicability of CRZ provisions etc. (Distance from sea-coast / tidal level must be incorporated)	None



Aditya

PART B

VALUATION OF LAND

1.	Size of Plot	Land Area – 81,143 sq.mtr/ 97046.22 sq.yds
	North & South	--
	East & West	--
2.	Total extent of the plot	Land Area – 81,143 sq.mtr/ 97046.22 sq.yds
	Area adopted on the basis of	Property documents & site survey both
	Remarks & observations, if any	Not applicable
3.	Prevailing market rate (Along with details /reference of at least two latest deals/transactions with respect to adjacent properties in the areas)	<p>References on prevailing market Rate/ Price trend of the property and Details of the sources from where the information is gathered (from property search sites & local information)</p> <p>1. Name: M/s. Om Sai Ram Property Dealers (Property Consultant) Contact No.: +91-9328824308 Size of the Property: Approx. 81,000 sq. mtr/ 96875 sq.yds. Rates/ Price informed: As per allotment rate Comment: As per our discussion, we came to know that the rates within vicinity of subject land is ranging same as Allotment rate of the subject property i.e; Rs. 3,780/- since, ample of vacant industrial land is available at this vicinity.</p> <p>During our micro market survey and discussion with local property / people dealers we came to know following information:</p> <ol style="list-style-type: none"> 1. The subject property is located amidst of well developing industrial area of GIDC, Village – Hirapur, Taluka-Sanand, Ahmedabad. 2. The demand of the land in this locality is good. Plenty of land is still available in this locaton 3. The on-going market rate for the land located within vicinity of subject land is ranging same as Allotment rate of the subject property i.e; Rs. 3,780/- 4. Various vacant plots are available in this area for industrial purpose. <p>Keeping all the above mentioned points, factors like (size, Shape & location) into the consideration, we have adopted the rate of Rs.3,780/- per sq.mtr. which seems to be reasonable in our view.</p>

low 6000
 5000 — Industrial
 sq. ind
 to 8000 → GIDC
 sq ind 30000 sq.mtr
 adjoining

Yashraj ji

valuable warehouse

1/8 Prigla

LC+

Aditya



VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SA VAND

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4.	Allotment rate obtained from the Registrar's office (an evidence thereof to be enclosed)	Rs.3,780/- per sq.mtr Allotment Rate: Land : 81,143.59 sq.mtr X Rs.3,780/- per sq.mtr = Rs. 30,67,22,770/-
5.	Assessed / adopted rate of valuation	Rs.3,780/- per sq.mtr.
6.	Estimated value of land (A)	Market Value: Land : 81,143.59 sq.mtr X Rs.3,780/- per sq.mtr = Rs. 30,67,22,770/-

PART C

VALUATION OF BUILDING

1.	Technical details of the building	Construction done using professional contractor workmanship based on architect plan.
a)	Type of Building (Residential / Commercial/ Industrial)	Industrial
b)	Type of construction (Load bearing / RCC/ Steel Framed)	Please Refer to attached sheet
c)	Year of construction	Year- 2018
d)	Number of floors and height of each floor including basement, if any	As per old valuation report
e)	Plinth area floor-wise	Please Refer to attached sheet
f)	Condition of the building	Good
i.	Interior Finishing	No information available since survey couldn't be done from inside
ii.	Exterior Finishing	Architecturally designed or elevated
2.	Status of Building Plans/ Maps	Cannot comment since no approved map given to us
g)	Date of issue and validity of layout of approved map / plan	Approved map not provided to us
h)	Is Building as per approved Map	Approved map not provided to us
i)	Whether genuineness or authenticity of approved map / plan is verified	No
j)	Any other comments by our empaneled valuers on authentic of approved plan	No
k)	Details of alterations/ deviations/ illegal construction/ encroachment noticed in the structure from the original approved plan	Cannot comment since no approved map provided to us. However, we are considering the area as per old valuation report.
3.	Valuation of Structure	
a)	Market Value of Structure	Please Refer to attached sheet
b)	Guideline Value of Structure	Construction Rate Not Available in public domain



A. J. J.

Lecker Ram - 58x38
 Paint shed - 170x93

CIVIL/STRUCTURES VALUATION FOR M/S. SECURE METERS LIMITED, SANAND

S.No.	Block Name	Floor wise Height (ft.)	Year of construction	Type of construction	Structure condition	Area (in sq. mtr.)	Area (sq. fts.)	Rate Adopted (per sq. ft)	Total cost of construction
1	Plant 1 (Composite structure)	20 ft 25'	2018	GI Shed	OK Good	6397.16	68860.31	₹ 1,400.00	₹ 96,404,433.54
2	Moulding Plant	20 ft 45'	2018	GI Shed	OK Good	6038.64	65001.13	₹ 1,400.00	₹ 91,001,580.16
3	Store & Ware House	20 ft 45'	2018	GI Shed	OK Good	3632.86	39104.83	₹ 1,400.00	₹ 54,746,764.26
4	Utility Area	12 ft. 20'	2018	Rcc + Steel Structure	OK Good	1249.36	13448.36	₹ 2,000.00	₹ 26,896,721.82
5	Visitor Area	12 ft. OK	2018	Rcc + Steel Structure	OK Good	1701.47	18314.96	₹ 2,000.00	₹ 36,629,926.75
6	Security Cabin	12 ft. OK	2018	Rcc + Steel Structure	OK Good	20.00	215.28	₹ 2,000.00	₹ 430,568.00
7	STP Civil Work	GI Shed 22 ft	2018	Rcc + Steel Structure	OK Good	75000		₹ 10.00	₹ 750,000.00
8	200 Kl. Under Ground Water Tank	NA	2018	Rcc (Under Ground Structure)	OK Good	120	1291.70	₹ 6,000.00	₹ 720,000.00
9	Miscellaneous work & Surface Development	NA	2018	RCC (Backlifting area, RCC Drain, & trench work for plant)	Good	47821.29	514757.93	₹ 250.00	₹ 11,955,322.50
Total						141980.78	516049.63		₹ 319,535,317.03

Remarks:-

1. The covered area of the subject property is taken from the old valuation report provided to us by the bank.

2. No. approved layout plan is provided to us inspite of our several request.

Canteen 67

7. SPECIFICATIONS OF CONSTRUCTION (FLOOR-WISE) IN RESPECT OF			
S.No.	Description	Ground floor	Other floors
1.	Foundation	Please Refer to attached sheet	Please Refer to attached sheet
2.	Ground Floor	Please Refer to attached sheet	Please Refer to attached sheet
3.	Superstructure	Please Refer to attached sheet	Please Refer to attached sheet
4.	Joinery / Doors & Windows (please furnish details about size of frames, shutters, glazing, fitting etc. and specify the species of timber)	Aluminum windows and door Panels	Aluminum windows and door Panels
5.	RCC works	Inside Survey not done	Inside Survey not done
6.	Plastering	Inside Survey not done	Inside Survey not done
7.	Flooring, Skirting, dadoing	Inside Survey not done	Inside Survey not done
8.	Special finish as marble, granite, wooden paneling, grills, etc.	Inside Survey not done	Inside Survey not done
9.	Roofing including weather proof course	NA	NA
10.	Drainage	Yes, underground drainage system exists in the area	Yes, underground drainage system exists in the area

Adjy

VALUATION ASSESSMENT

M/S. SECURE METERS LIMITED, SANAND

S.No.	Description	Ground floor	Other floors
1.	Compound wall	Yes	NA
	Height	Please Refer to attached sheet	Please Refer to attached sheet
	Length	1183.20 Running mtr.	Please Refer to attached sheet
	Type of construction	Rcc	Please Refer to attached sheet
2.	Electrical installation		
	Type of wiring	Inside Survey not done	Inside Survey not done
	Class of fittings (superior / ordinary / poor)	Inside Survey not done	Inside Survey not done
	Number of light points	NA	NA
	Fan points	NA	NA
	Spare plug points	NA	NA
	Any other item	NA	NA
3.	Plumbing installation		
a)	No. of water closets and their type	NA	NA
b)	No. of wash basins	NA	NA
c)	No. of urinals	NA	NA
d)	No. of bath tubs	NA	NA
e)	Water meter, taps, etc.	NA	NA
f)	Any other fixtures	NA	NA

PART D**EXTRA ITEMS**

1.	Portico	NA
2.	Ornamental front door	NA
3.	Sit out/ Verandah with steel grills	NA
4.	Overhead water tank	NA
5.	Extra steel/ collapsible gates	NA
6.	Total (C)	NA

PART E**AMENITIES**

1.	Wardrobes	NA
2.	Glazed tiles	NA
3.	Extra sinks and bath tub	NA
4.	Marble / Ceramic tiles flooring	NA
5.	Interior decorations	NA
6.	Architectural elevation works	NA
7.	Paneling works	NA

Addy



Canteen →

~~Assign~~

Rs - 11000

Home to Delhi Station — 350

Anand Railway to EECL Plant — Auto 250

Erect- Room — 908

Delhi to Udaipur — 1385 —

Udaipur to Asarwa — 529

Ahmedabad to

Anand — Auto → 550

Anand to Gimb — 1614

Gimb to Anand — 700

Ahmedabad

Hotel — For two night — 2200

Ahmedabad

to Sanand — Auto 45 km outside

Total — 90 km.

Whole day Auto — 1300

Whole day Auto at Udaipur — For two location sensor meter — 1500 —