



## GUJARAT INDUSTRIAL DEVELOPMENT CORPORATION

Office of the Executive Engineer, 4<sup>th</sup> Floor, GIDC Office, Fadia Chamber,  
Ashram road, Ahmedabad-380 009.

Ph.No.079-26587548. Fax No.079 - 26580460

No: GIDC/ENG/XEN/ABD/PB-II/PLAN/ SANAND-II/422

Date: 21/02/2017.

To,

M/s. Secure Meters Ltd.

E-class, Pratapnagar Industrial Area,  
Udaipur -313003,  
Rajsthan, India.

Subject: Approval of Proposed factory Building plan on Plot No: E- 566 at Sanand-II Industrial Estate.

Ref: (1) Your application dated: 16/12/2016, 30/12/2016 & 18/02/2017.

(2) DEE-I, Sanand-II, GIDC, Ahmedabad Letter No: 347, dated: 27/12/2016.

(3) ATP, GIDC, letter no. 824 dated 27/01/2017

(4) Scrutiny fee paid on dated: 10/02/2017.

Dear Sir,

Gujarat Industrial Development Corporation is pleased to inform you that plans for Proposed factory Building on Plot No: E- 566 at Sanand-II submitted are approved by this office subject to the following conditions:

1. The drawings are subject to the approval by the Chief Inspector of factories.
2. You have to carry out the construction as per the changes made in the plan by GIDC.
3. The drawings are subject to checking of structure soundness and safety by your Engineer.
4. The drawings will be subject to checking & revision under the regulation formulated by the corporation from time to time.
5. The drawings are subject to the approval of local bodies such as GEB, PWD, Panchayat, Municipality etc.
6. The full plot is allotted to you and full possession taken by you.
7. Manhole, Septic tank, Soak pit etc shall be provided with C.I. heavy Cover.
8. The effluent shall be treated as per ISS.3306 - 1965 and plans for the same should be submitted before commencement of factory.
9. Entry gates of compound wall and all internal gates should be open inside and be provided with stop which will prevent the gate from opening outside the path of road.
10. Licensees shall have to complete the construction within stipulated time limit prescribed under the agreement.
11. Addition Alteration in the existing building/shed shall be carried out without affecting the structure soundness of the existing structure and no claim shall be entertained in case of damage to the property. The work of internal addition alteration shall be carried out at your risk and cost.
12. Trusses, beams etc of expansion/ extension shall not be provided on opening of existing building/Shed because lintels provided for doors, windows and rolling shutter not designed to take additional load.



13. The disposal for the discharge of the effluent should match with the levels of the storm water drain in to or any other drainage system which the effluent is to be discharged off, if these facilities to be provide by GIDC in future. The levels shall be obtained from the Dy. Executive Engineer of area in charge and manholes are constructed by GIDC at your cost for jointing existing drainage lines and the drainage service lines from your plot If this facility to be provided by GIDC in future.
14. The approach roads should be constructed with use of minimum 1200mm dia.NP-4 pipe CD works / Slab Culvert to their unit from main road and shall be laid as per levels given by the Dy. Executive Engineers, GIDC in-charge.
15. This approval is valid for the period of Two years from the date of this approval and if during the period building work is not commenced and completed, revalidation of the approval would be necessary as per rules of GIDC.
16. The plans are approved subject to the conditions which ever is applicable in time to time.
17. You shall obtain the extension of time limit period for utilization of your plot / shed from the Competent Authority or Regional Manager, GIDC, Ahmedabad if applicable.
18. You shall pay all outstanding dues of the GIDC including water charges recovery if applicable etc, all interest, penal interest as applicable and conveyed to you in time limit as notified to you and as per prescribed time limit.
19. This approval of plan shall not be prejudicial to the corporation right to take any action under the provisions of property regulations, lease deed, conveyance deed, form of agreement, and agreement for sale, offer letter, allotment letter as recovery of dues or actions under any act in force.
20. If the land allotted low laying land, you should take sufficient safe guard to protect all construction, erosions to be made on the land and shall ensure at all lines that the same is protected from damage due to flood, submergence etc. you shall have no right whatsoever to claim any damage on account of such events.
21. You shall have to remove the unauthorized violative construction of area ...m2 from the plot/shed within 60 days.
22. This plan approval is valid for two years only, if party fails to obtain Building Utilized permission within two years, the approval shall be automatically cancelled and revised plan approval is to be obtained.
23. Before starting Construction work, you have to obtain the time limit extension from the Competent Authority or Regional Manager, GIDC, Ahmedabad.
24. For building having 1000m2 and more area at rate of 3 Trees for every 200m2 of building unit, for all uses, shall have to be planted on site plan/layout and also trees to be maintained by you.
25. For condition No;24, Rs.500.00 per tree shall have to be deposited against the maintenance of tree plantation.
26. After five years of issue of development permission, the Dy. Ex. Engineer concern shall inspect the site and check the tree planted on site as per requirement shown in condition 24, if the tree plantation found as per the requirement, the deposit as mentioned in condition No:25 shall be refunded, in case, if no tree plantation maintained as per the requirement, the deposit shall be forfeited.
27. As mentioned above in condition -24, selection of type of trees, how to plant and maintenance to be done by the authority as per the instructions and in consultation with senior officer of Forest and Environment department.



28. For area of building above 500m<sup>2</sup> and up to 1500m<sup>2</sup>, the owner/developer shall carry out water harvesting system.
29. In case where the area of building exceeds 1500m<sup>2</sup> and up to 4000m<sup>2</sup>, the owner/developer shall have to provide /construct percolating well with rain water harvesting system in building unit at rate of One Percolating well for every 4000m<sup>2</sup> or part there of building unit.
30. Plinth area up to 80m<sup>2</sup>, every such building shall be provided with required facilities and infrastructure for conservation and harvesting of rain water.
31. The ground surface around the building shall have percolation pit as recommended for recharge, such pits shall be filled with small pebbles or bricks jelly or river sand and covered with perforated concrete slab.
32. The terrace may be connected to a sump or well bore through filtering tank by PVC Pipes as recommended by the competent authority. A valve system shall be incorporated to enable the first part of rain water collected be discharged out to the solid if it is dirty.
33. Wherever there is open ground a portion of top soil should be removed and replaced with river sand to allow slow percolation of rain water.
34. Any other method proved to be effective in conservation and harvesting of rain water may be adopted and every construction taken up.
35. Plan shall be approved subject to condition, approval of Gujarat Industrial Development Corporation. Hence any addition alteration suggested by GIDC shall be implemented during construction. Gujarat Industrial Development Corporation is looking forward towards completion of your building and its successful functioning within a year.
36. As per under taking given by you, the proposed canteen/day care centre will use for your personal purpose only and will not use for commercial purpose.
37. As per under taking given by you, the land not in possession with the GIDC, as & when the possession received by GIDC it shall have to be allotted to company at the allotment price running at that time.
38. You have to apply to the undersigned for getting plinth checking certificate in the prescribed form attached h/w, while the construction work completed up to plinth level and get the plinth checking certificate before starting the work further.
39. You have to apply to the undersigned for getting building completion certificate in the prescribed form attached h/w, while the construction work completed in all respect and get the building completion certificate from the under signed.

***With best wishes,***

**Yours faithfully,**



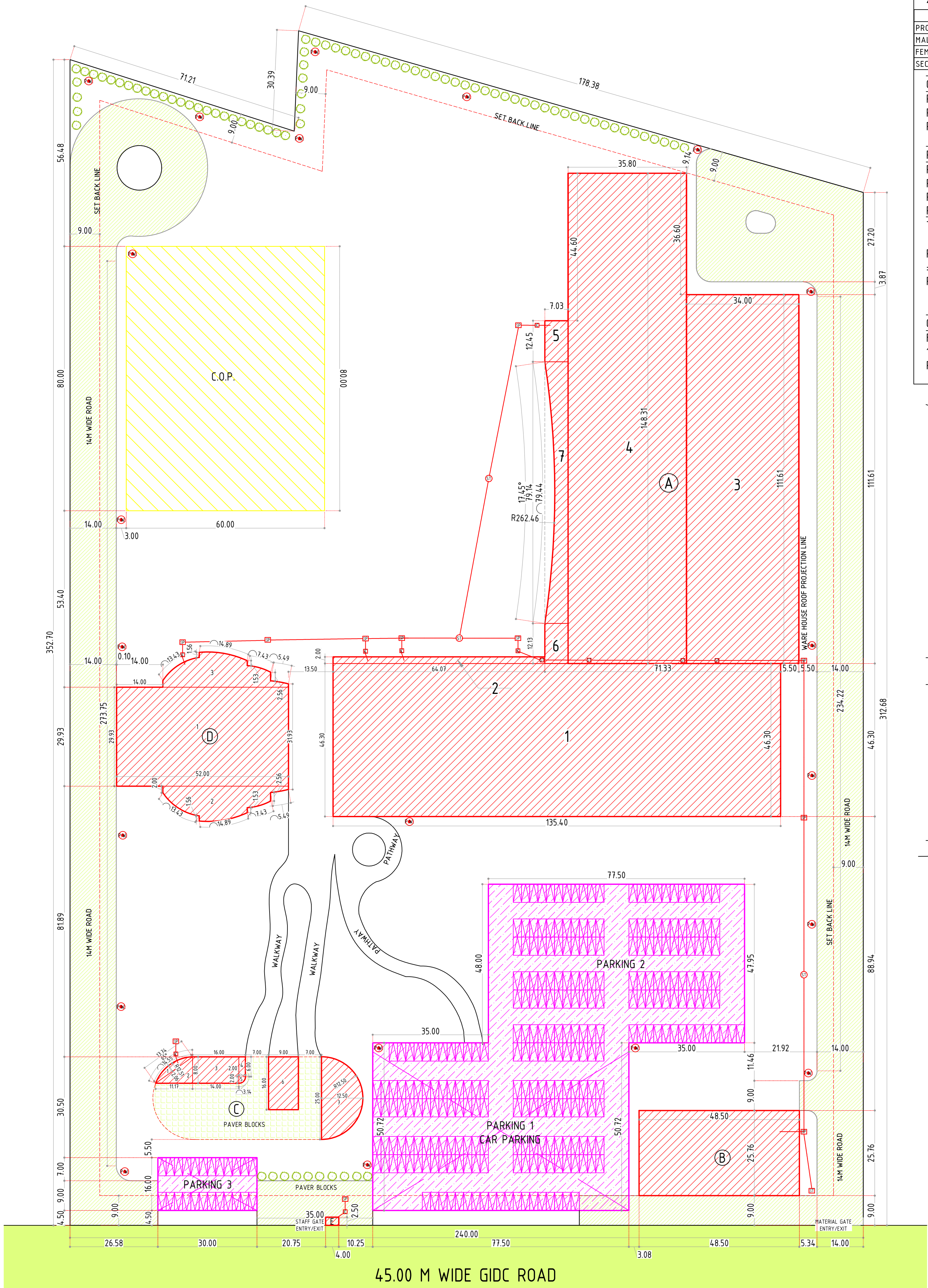
**Executive Engineer,  
GIDC, Ahmedabad.**

**Encl: Two sets of Drawings.**

**Copy f. w. s. to :**

1. The Regional Manager, GIDC, Ahmedabad along with one set of approved drawing for information and record please.
2. The Deputy Executive Engineer-I, Sub-Div.No.I, Sanand-II, GIDC, Ahmedabad along with one set of drawing for information and necessary action.





LAYOUT  
SCALE 1 CM = 5M

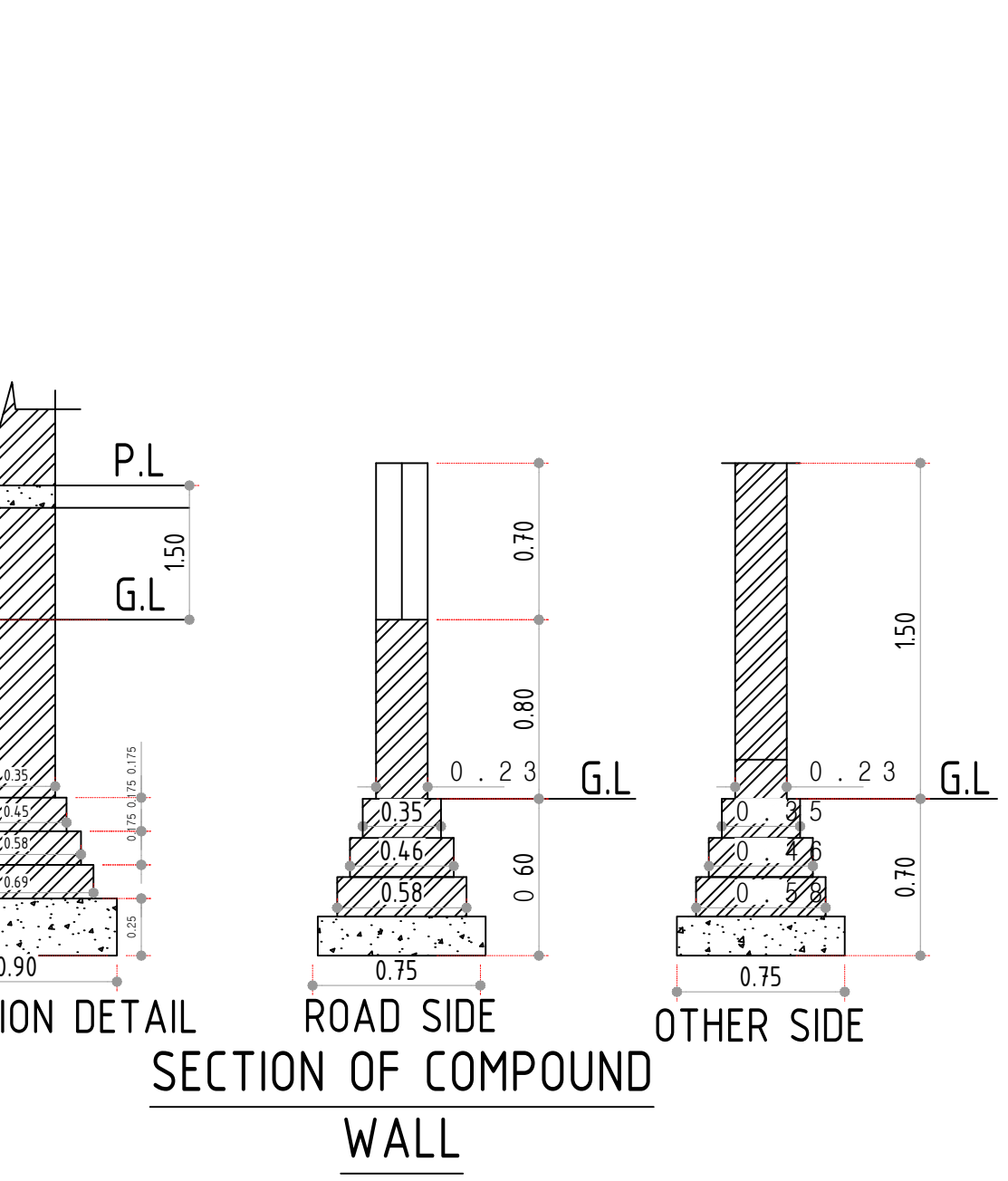
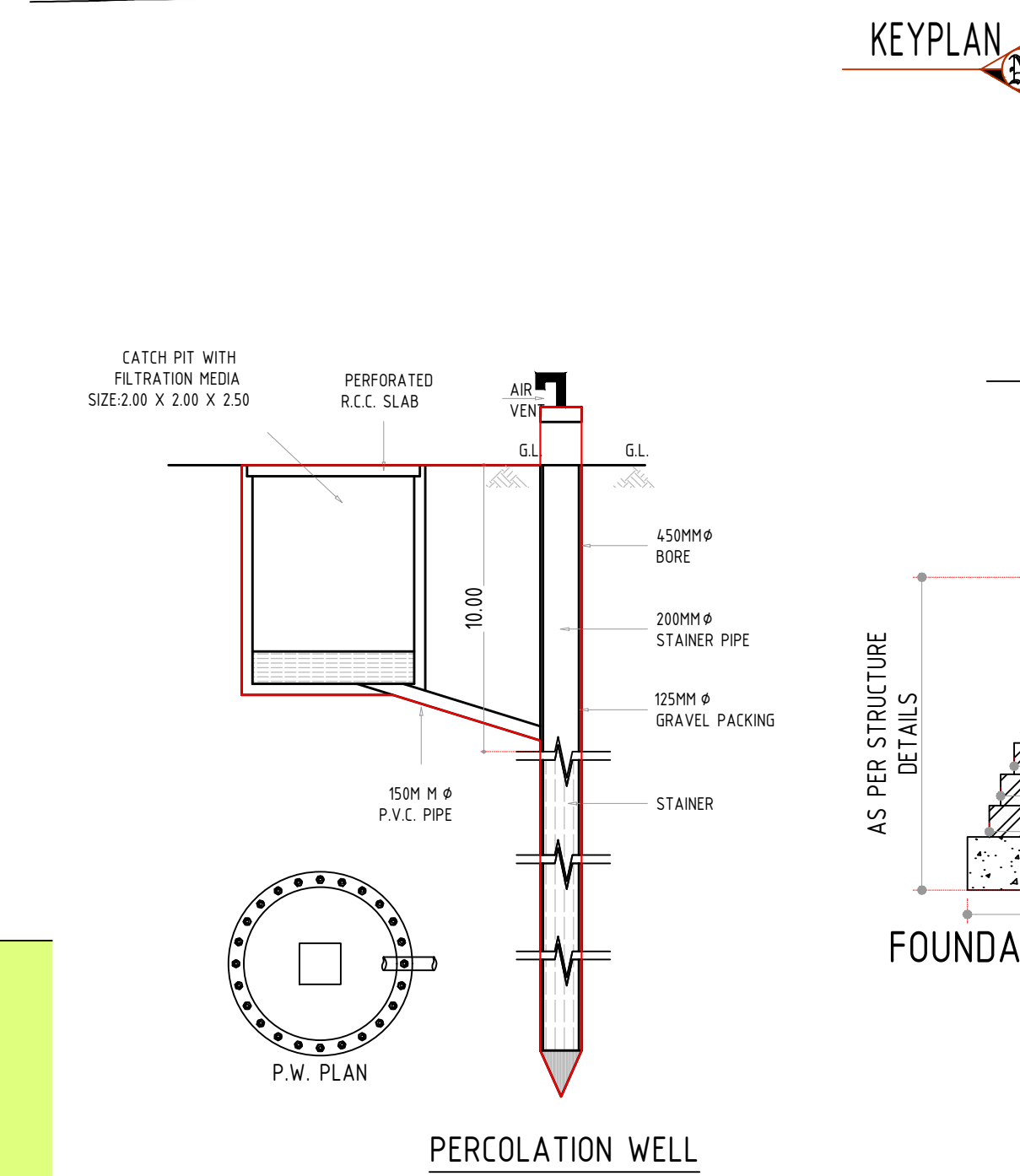
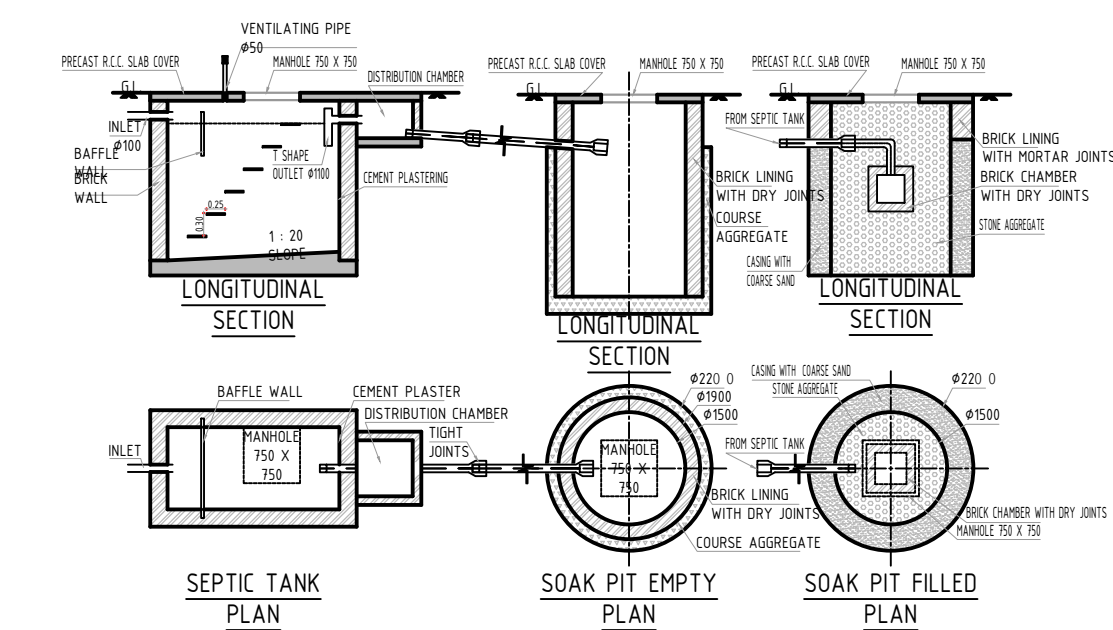
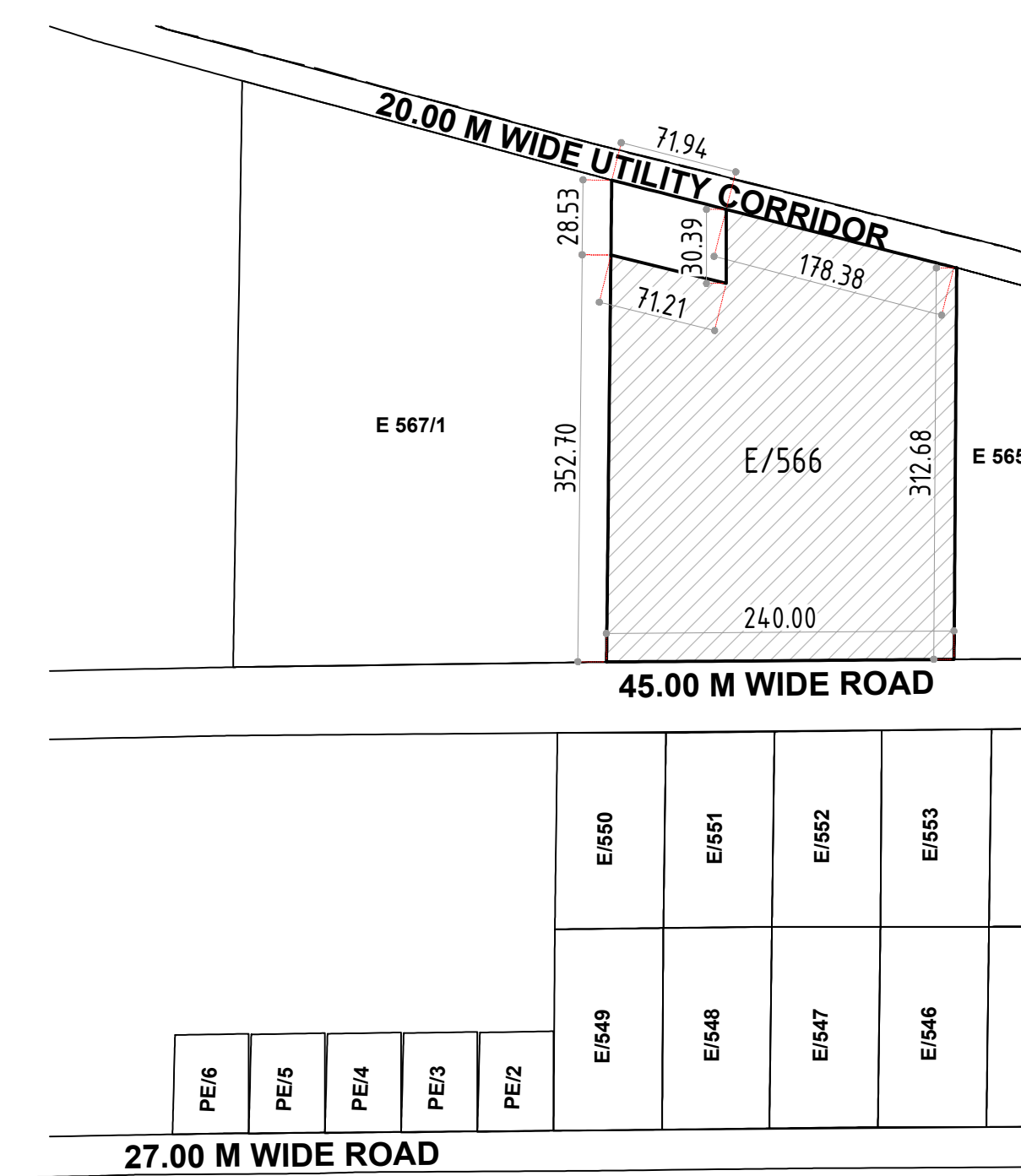
CALCULATION FOR SANITARY @ EVERY 25 PERSONS 1 W.C. & 1 URINAL REQUIRED. 200 LABORS. $\frac{200}{25} = 8$ URINAL S AND 8 W.C. REQUIRED.					
SANITARY CALCULATION					
PROVIDED	W.C.	URINAL	CLEAR SIZE	DISABLED	CLEAR SIZE
MALE	21	34	1.15 X 1.50	2	1.65 X 1.95 1.58 X 1.73
FEMALE	52	-	1.15 X 1.51	2	2.83 X 1.61
SEC. CABIN	1	-	1.25 X 2.20		
CALCULATION FOR PERCOLATING WELL P.W. REQUIRED 1500 SQ.MTS. TO 4000 M <sup>2</sup> 1 NOS. P.W. REQUIRED PERCOLATING WELL ~ 8114.359/4000 = 20.28 PROVIDED PERCOLATING WELL = 21 NOS.					
PARKING CALCULATION REQ. PARKING @ 10 % OF PLOT = 8114.35 M <sup>2</sup> PARKING 1 77.50 X 50.72 = 3930.80 M <sup>2</sup> PARKING 2 77.50 X 48.00 = 3720.00 M <sup>2</sup> PARKING 3 30.00 X 16.00 = 0480.00 M <sup>2</sup> TOTAL PROVIDED PARKING = 8130.80 M <sup>2</sup>					
REQ. CAR PARKING @ 25 % OF PROVIDED PARKING = 2032.70 M <sup>2</sup> PROVIDED CAR PARKING 1 = 3930.80 M <sup>2</sup>					
CALCULATION FOR COMMON PLOT FOR PLOT AREA 8114.359 M <sup>2</sup> REQUIRED COMMON PLOT 1600 + 5% OF ABOVE 20000 M <sup>2</sup> AREA = 4657.18 M <sup>2</sup> PROVIDED C.O.P. 60.00 X 80.00 = 4800.00 M <sup>2</sup>					

CALCULATION FOR TREES IN EVERY 200 M <sup>2</sup> AREA 3 NOS. TREES REQUIRED. THEREFOR REQUIRED TREES = $\frac{8114.359}{200} \times 3 = 1217.15$ REQUIRED TREES ON SITE 1218 NOS.		
AREA CALCULATIONS		
A- PLANT - 1 & ADJOINING BUILDING		
1- 135.40 X 046.30	=	6269.02 M <sup>2</sup>
2- 064.07 X 002.00	=	0128.14 M <sup>2</sup>
3- 034.00 X 111.61	=	3794.74 M <sup>2</sup>
4- 035.80 X 148.31	=	5309.50 M <sup>2</sup>
5- 007.03 X 012.45	=	0087.52 M <sup>2</sup>
6- 007.03 X 012.13	=	0085.27 M <sup>2</sup>
7- 007.03 X 079.14	=	0556.35 M <sup>2</sup>
DEDUCTION OF AREA OF SEGMENT	=	-0161.88 M <sup>2</sup>
7- TOTAL FOR 7	=	0394.47 M <sup>2</sup>
TOTAL AREA	=	16068.66 M <sup>2</sup>
B- UTILITY AREA		
1- 48.50 X 25.76	=	1249.36 M <sup>2</sup>
TOTAL AREA A+B	=	17318.02 M <sup>2</sup>

C- TRAINING AREA		
1- AREA OF SEGMENT	=	017.99 M <sup>2</sup>
2- $\frac{1}{2} \times 11.17 \times 08.00$	=	044.68 M <sup>2</sup>
3- 14.00 X 08.00	=	112.00 M <sup>2</sup>
4- 02.00 X 06.00	=	012.00 M <sup>2</sup>
5- $r^2\theta/2 = (2^2 \times 157)/2$	=	003.14 M <sup>2</sup> (90°=157 Radian)
6- 09.00 X 16.00	=	144.00 M <sup>2</sup>
7- $\frac{1}{2}\pi r^2 = \frac{1}{2} \times 3.14 \times (12.50)^2$	=	245.31 M <sup>2</sup>
TOTAL BUILT UP AREA	=	579.12 M <sup>2</sup>
D- CANTEEN AREA		
1- 29.93 X 52.00	=	1556.36 M <sup>2</sup>
2- CANTEEN SIDE AREA	=	0265.68 M <sup>2</sup>
3- CANTEEN SIDE AREA	=	0265.68 M <sup>2</sup>
TOTAL BUILT UP AREA	=	2087.72 M <sup>2</sup>
E- SECURITY CABIN		
1- 04.00 X 02.50	=	0010.00 M <sup>2</sup>
TOTAL AREA C+D+E	=	2676.84 M <sup>2</sup>
TOTAL PROPOSED AREA	=	19994.86 M <sup>2</sup>

PLAN SHOWING PROPOSED BUILDING FOR APPROVAL ON PLOT NO. E - 566 AT G.I.D.C. SANAND - II INDUSTRIAL ESTATE TA. : SANAND DIST. : AHMEDABAD.		
FOR :	SECURE METERS LIMITED	
ZONE :	INDUSTRIAL	SCALE : 1 CM = 15 MT.
USE :		
AREA TABLE		SQ.M.
PLOT AREA		8114.359
PERMISSIBLE BUILT UP AREA		40571.80
FLOOR	PROPOSED AREA	TOTAL
G.F.	19994.86	19994.86
F.F.	0.00	0.00
S.F.	0.00	0.00
TOTAL	19994.86	19994.86
BALANCE BUILT UP AREA		20576.94
OPEN PLOT AREA		61148.73
FSI CALCULATION		
PLOT AREA		8114.359
PERMISSIBLE F.S.I.		129829.74
TOTAL BUILT UP AREA		19994.86
BALANCE F.S.I.		109834.88
NOTE: ALL DIMENSIONS ARE IN METERS INCLUDING WALLS. FOR R.C.C. COLUMN AND BEAMS REFER STRUCTURE DRAWINGS.		

COLOR NOTES			
	PLOT BOUNDARY		PERCOLATING WELL
	PROPOSED AREA		PARKING
	ROAD		COMMON PLOT
	TREES		
	DRAINAGE		



per SECURE METERS LTD  
Authorised Signatory

OWNER / OCCUPIER

B. M. PATEL  
ARCHITECT  
CIVIL ENGINEER (REGD. NO. 198066499, 198066500)  
LICENCE NO. CA/2014/62478  
ar.pinakin@yahoo.com

ENGINEER / ARCHITECT

PINAKIN PATEL  
+91 98790 11302  
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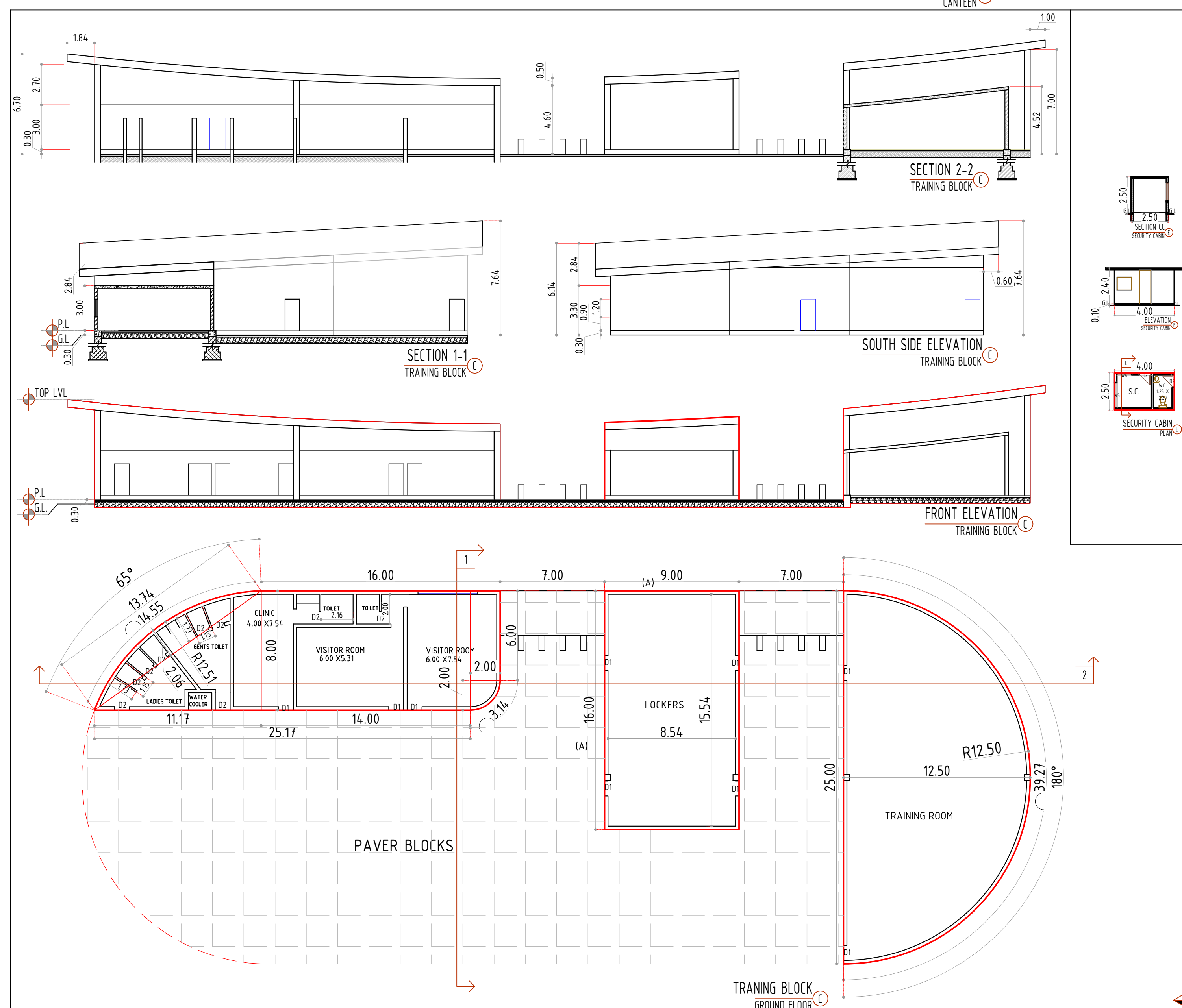
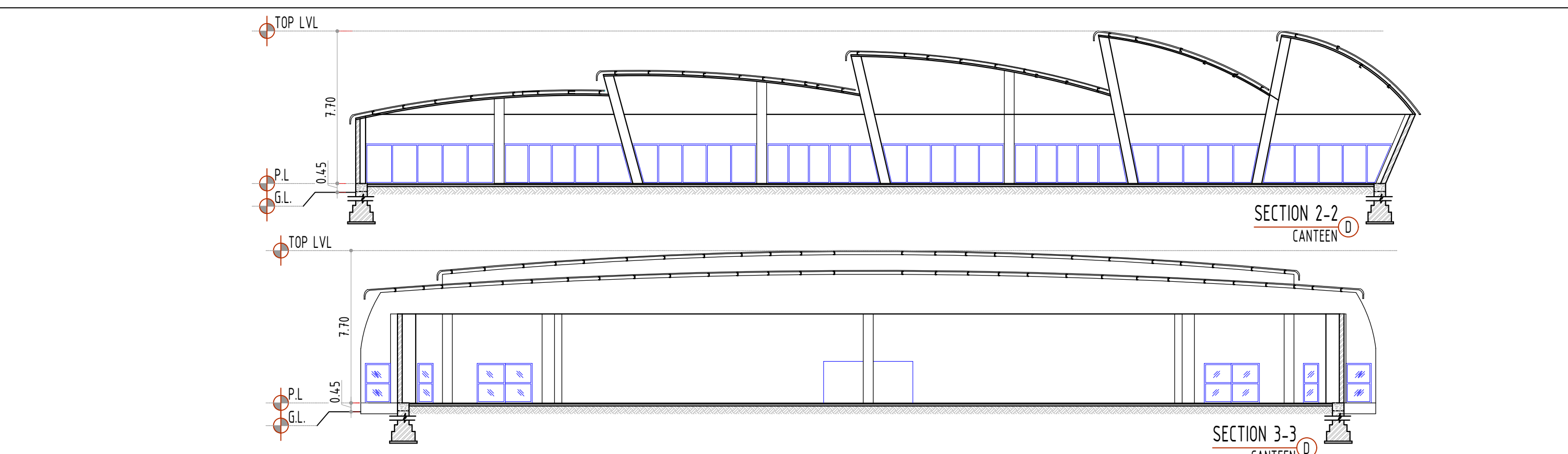
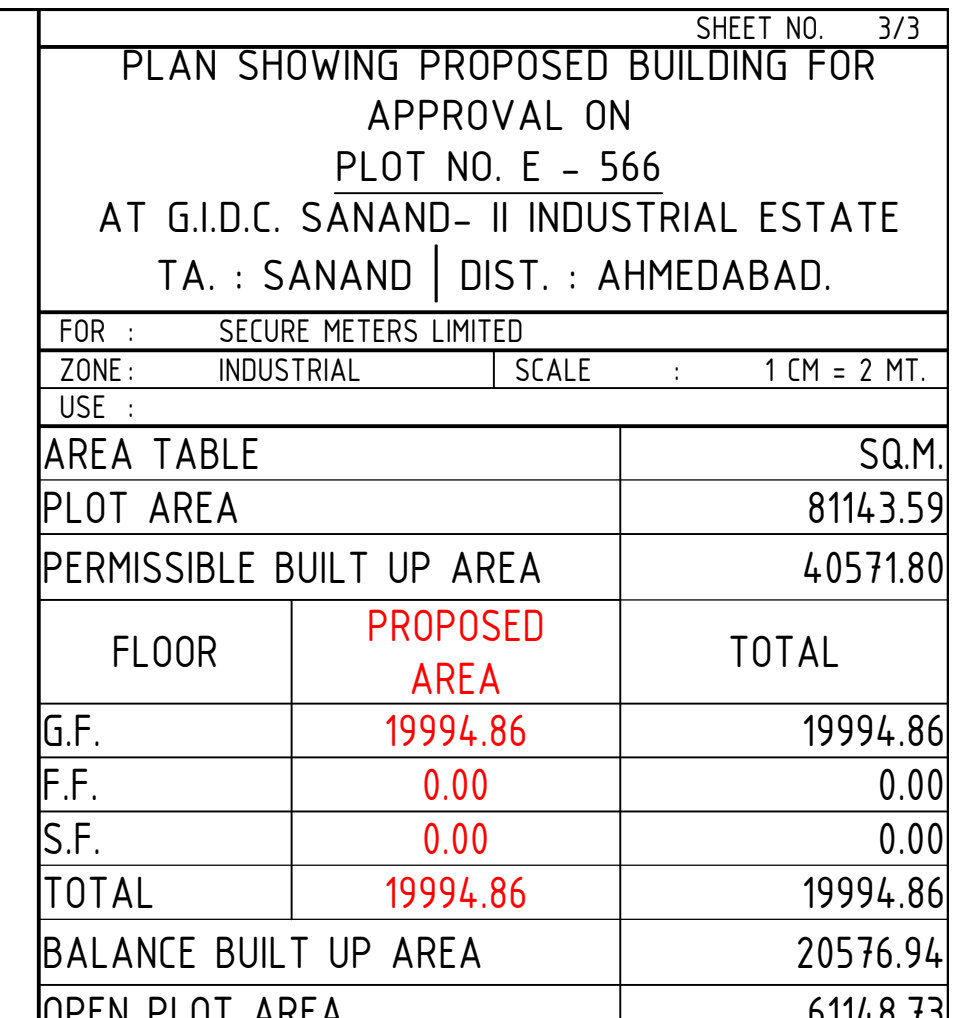
Approved Subject to the condition mentioned under the office Letter No. GIDC/ENR/A.B.D./P.B-II/PLAN/42 Date 21/02/2017  
Executive Engineer  
G.I.D.C., Ahmedabad

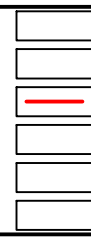
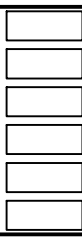


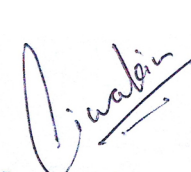
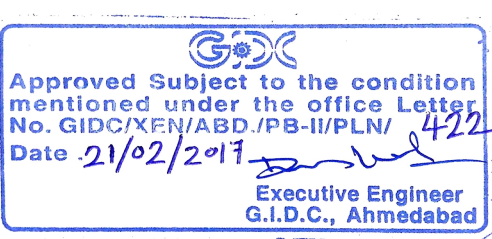
AUTHORITY









OPEN FLOT AREA		01140.73
<b>FSI CALCULATION</b>		
PLOT AREA		81143.59
PERMISSIBLE F.S.I.		129829.74
TOTAL BUILT UP AREA		19994.86
BALANCE F.S.I.		109834.88
NOTE: ALL DIMENSIONS ARE IN METERS INCLUDING WALLS. FOR R.C.C. COLUMN AND BEAMS REFER STRUCTURE DRAWINGS.		
<b>COLOR NOTES</b>		
	PROPOSED AREA	
<b>OPENING SCHEDULED</b>		
D1 1.00 X 2.10	W2 2.00 X 2.00	
D2 0.85 X 2.10	W3 2.50 X 2.00	
D3 1.50 X 2.10	W4 1.00 X 0.90	
W1 1.25 X 2.00	W5 1.70 X 0.90	
<b>AREA CALCULATIONS</b>		
<b>C- TRAINING AREA</b>		
1- AREA OF SEGMENT = 017.99 M <sup>2</sup>		
2- $\frac{1}{2} \times 11.17 \times 08.00$ = 044.68 M <sup>2</sup>		
3- 14.00 X 08.00 = 112.00 M <sup>2</sup>		
4- 02.00 X 06.00 = 012.00 M <sup>2</sup>		
5- $r^2 \phi / 2 = (2^2 \times 157) / 2 = 003.14 \text{ M}^2$ (90°=157 Radian)		
6- 09.00 X 16.00 = 144.00 M <sup>2</sup>		
7- $\frac{1}{2} \pi r^2 = \frac{1}{2} \times 3.14 \times (12.50)^2 = 245.31 \text{ M}^2$		
<b>TOTAL BUILT UP AREA = 579.12 M<sup>2</sup></b>		
<b>D- CANTEN AREA</b>		
1- 29.93 X 52.00 = 1556.36 M <sup>2</sup>		
2- CANTEN SIDE AREA = 0265.68 M <sup>2</sup>		
3- CANTEN SIDE AREA = 0265.68 M <sup>2</sup>		
<b>TOTAL BUILT UP AREA = 2087.72 M<sup>2</sup></b>		
<b>E- SECURITY CABIN</b>		
1- 04.00 X 02.50 = 0010.00 M <sup>2</sup>		
<b>TOTAL AREA C+D+E = 2676.84 M<sup>2</sup></b>		
 <b>SECURE METERS LTD</b> Authorised Signatory		
<b>OWNER / OCCUPIER</b>		
 <b>B.M. PATEL</b> CIVIL ENGINEER (G.D.C. AHMEDABAD), REGD. NO. 10005 LICENCE NO. ANCEBR130171 (A) (M&F) (2014 ENG244/107017) G.D.C. NEW AVENUE, SCIENTIC CITY, AHMEDABAD - 40		
 <b>PINAKIN PATEL</b> ARCHITECT +91 98790 11302 CA/2014/52475 ar.pinakini@yahoo.com		
<b>ENGINEER / ARCHITECT</b>		
 Approved Subject to the condition mentioned under the office Letter No. GIDC/XEN/ABD/PB-II/PLN/ 422 Date 21/02/2017 Executive Engineer G.I.D.C., Ahmedabad		